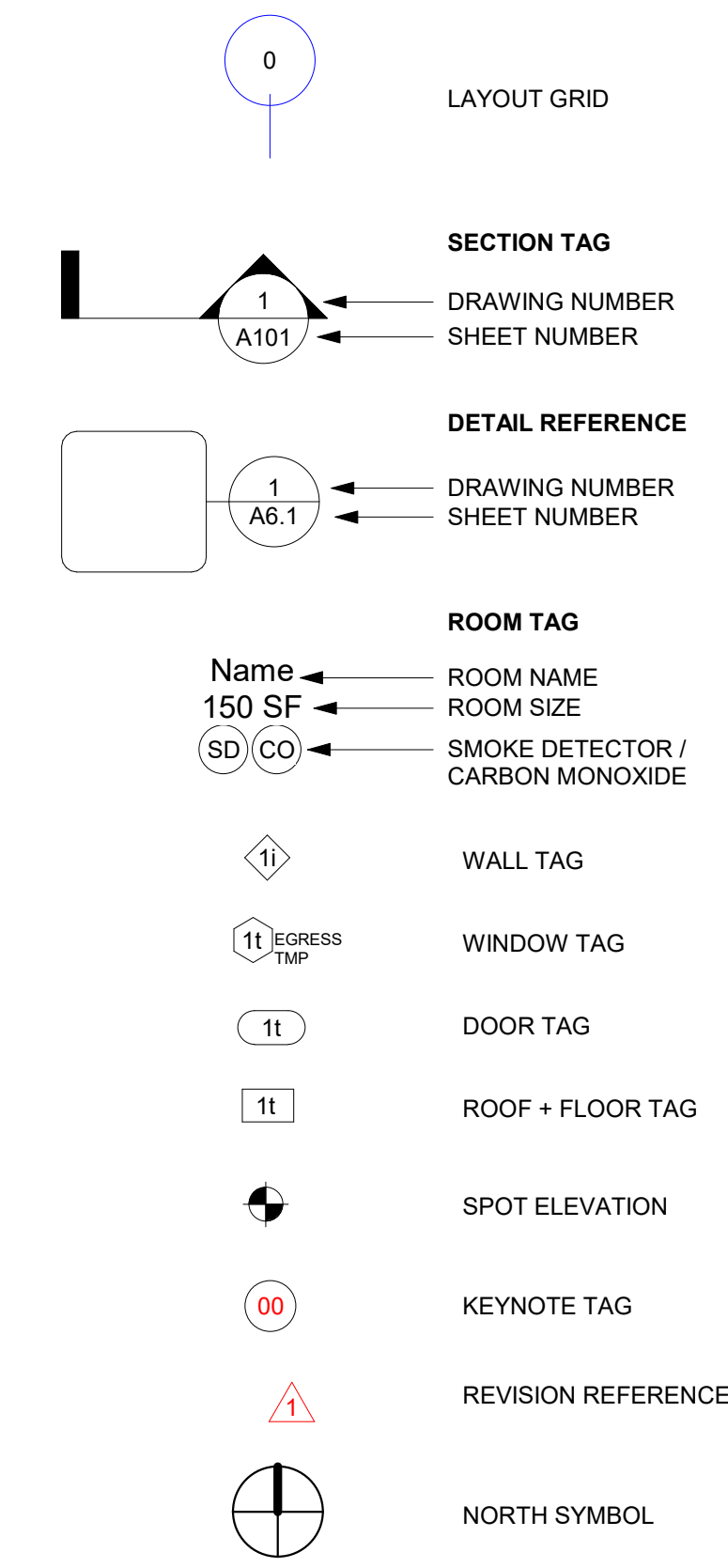


**KEY ABBREVIATIONS**

&	AND	MECH	MECHANICAL
(E)	EXISTING	MEMB	MEMBRANE
(N)	NEW	MEZZ	MEZZANINE
@	AT	MFR	MANUFACTURER
CL	CENTERLINE	MIN	MINIMUM
		MISC	MISCELLANEOUS
ACT	ACOUSTICAL CEILING TILE	MO	MASONRY OPENING
ADJ	ADJUSTABLE; ADJACENT	MTD	MOUNTED
AFF	ABOVE FINISH FLOOR	MTL	METAL
ALT	ALTERNATE		
ALUM	ALUMINUM	N	NORTH
APPROX	APPROXIMATE	N/A	NOT APPLICABLE
ARCH	ARCHITECT	NIC	NOT IN CONTACT
		NTS	NOT TO SCALE
BW	BETWEEN		
BD	BOARD	OC	ON CENTER
BIT	BITUMINOUS	OCC	OCCUPANCY
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BO	BOTTOM OF ...	OPNG	OPENING
CAB	CABINET	PERF	PERFORATED
CALC'S	CALCULATIONS	PERP	PERPENDICULAR
CANT	CANTILEVER	PL	PROPERTY LINE
CB	CATCH BASIN	PLAM	PLASTIC LAMINATE
CIP	CAST-IN-PLACE	PLAS	PLASTER
CL	CLOSET	PLYWD	PLYWOOD
CLG	CEILING	PR	PAIR
CLKG	CAULKING	PRCST	PRECAST
CLR	CLEAR	PROP	PROPERTY
CM	CARBON MONOXIDE DETECTOR	PVC	POLYVINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	QTY	QUANTITY
COL	COLUMN		
CONC	CONCRETE	R	RISER
CONST	CONSTRUCTION	RAD	RADIUS
CONT	CONTINUOUS	REF	REFERENCE
CORR	CORRIDOR	REFR	REFRIDGERATOR
CPT	CARPET; CARPETED	REINF	REINFORCED; REINFORCING
CTR	CENTER	REQ	REQUIRED
CY	CUBIC YARD	RESIL	RESILIENT
		REV	REVISION; REVISED
DEMO	DEMOLITION	RH	ROWHOUSE
DIA	DIAMETER	RO	ROUGH OPENING
DIM	DIMENSION	ROW	RIGHT OF WAY
DR	DOOR		
DS	DOWNSPOUT	S	SOUTH
DTL	DETAIL	SD	SMOKE DETECTOR; STORM DRAIN
DW	DISHWASHER		
DWG	DRAWING	SECT	SECTION
		SF	SQUARE FOOT/FEET
E	EAST	SFR	SINGLE FAMILY RESIDENCE
EA	EACH	SH	SILL HEIGHT
EL	ELEVATION	SHT	SHEET
ELEC	ELECTRICAL	SHT MTL	SHEET METAL
ELEV	ELEVATOR; ELEVATION	SHTG	SHEATHING
ENCL	ENCLOSURE	SI	SQUARE INCH; INCHES
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SOG	SLAB ON GRADE
EXIST	EXISTING	SPEC	SPECIFICATION
EXP	EXPANDED; EXPANSION	SQ	SQUARE
EXT	EXTERIOR	SST	STAINLESS STEEL
		STBK	SETBACK
FDC	FIRE DEPARTMENT CONNECTION	STOR	STORAGE
FDN	FOUNDATION	STRUCT	STRUCTURAL
FE	FIRE EXTINGUISHER	SUSP	SUSPENDED
FEC	FIRE EXTINGUISHER CABINET	T	THREAD
FF	FINISHED FLOOR	T&G	TONGUE AND GROOVE
FH	FIRE HYDRANT, FULL HEIGHT	TG	TEMPERED GLASS
FIN	FINISH	TH	TOWNHOUSE
FLR	FLOOR	TO	TOP OF ...
FLUOR	FLUORESCENT	TO BM	TOP OF BEAM
FO	FACE OF ...	TOC	TOP OF CURB
FOB	FACE OF BEAM	TOW	TOP OF WALL
FOC	FACE OF CONCRETE	TRTD	TREATED
FOF	FACE OF FINISH FOUNDATION	TS	TUBE STEEL
FOIC	FINISHED BY OWNER - INSTALLED BY CONTRACTOR	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
FOS	FACE OF STUDS		
FRMG	FRAMING	VB	VINYL BASE
FT	FOOT; FEET	VCT	VINYL COMPOSITION TILE
FTG	FOOTING	VEN	VENEER
FURR	FURRING	VERT	VERTICAL
FUT	FUTURE	VEST	VESTIBULE
		VFY	VERIFY
GA	GAUGE	W	WEST; WIDTH
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACTOR	W/O	WITHOUT
GL	GLASS	WD	WOOD
GLAM	GLUE-LAMINATED	WHF	WHOLE HOUSE FAN
GWB	GYPSSUM WALL BOARD	WIC	WALK IN CLOSET
		WRB	WEATHER RESISTIVE BARRIER
HC	HANDICAPPED	WT	WEIGHT
HDR	HEADER		
HDWD	HARDWOOD		
HH	HEAD HEIGHT		
HMI	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING/VENTILATING/AIR CONDITIONING		
HVL	HIGH VOLTAGE LINE		
HW	HOT WATER		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JST	JOIST		
LAM	LAMINATE; LAMINATED		
LAV	LAVATORY		
LF	LINEAR FOOT; FEET		
MAS	MASONRY		
MAX	MAXIMUM		

**GRAPHIC SYMBOLS**



**DRAWING INDEX**

SHEET NUMBER	SHEET NAME
1 - GENERAL	TITLE SHEET & PROJECT DATA
G0.00	GENERAL NOTES
G0.01	GENERAL NOTES
G0.02	ZONING CODE ANALYSIS & DIAGRAMS
6 - ARCHITECTURAL	EXISTING FLOOR PLANS
A2.00	PROPOSED FLOOR PLANS
A2.11	BUILDING ELEVATIONS
A3.01	BUILDING ELEVATIONS
A2.10	PROPOSED FLOOR PLANS
A2.12	PROPOSED FLOOR PLANS
A3.00	BUILDING ELEVATIONS
A4.00	BUILDING SECTIONS
A8.00	BUILDING ASSEMBLIES
A9.00	SCHEDULE WINDOWS/DOORS
7 - STRUCTURAL	STRUCTURAL PLANS
SN1	STRUCTURAL PLANS
S1.0	STRUCTURAL PLANS
SD1	STRUCTURAL PLANS
SD2	STRUCTURAL PLANS

**PROJECT DATA**

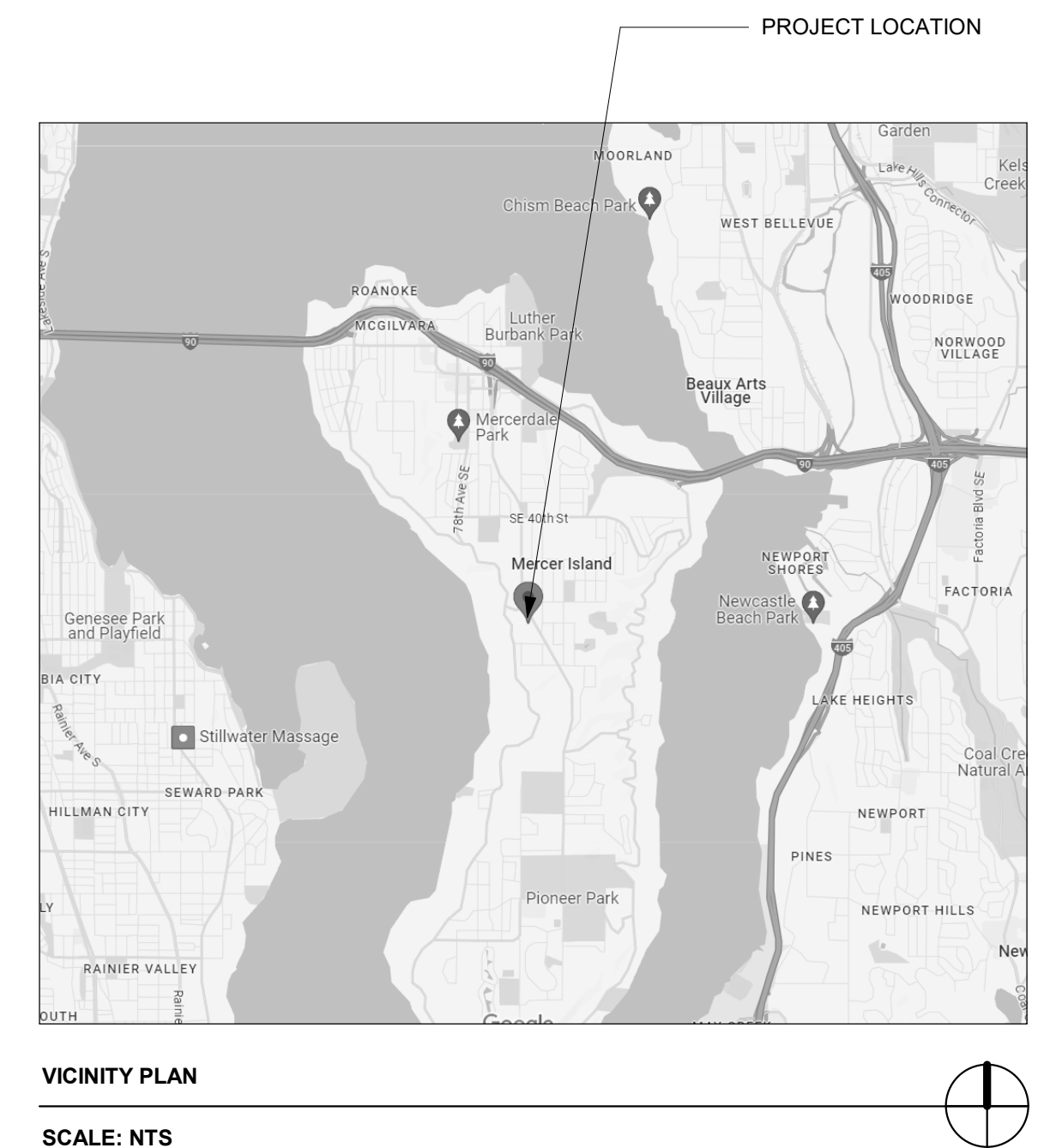
PROJECT ADDRESS:	8430 45TH ST SE
JURISDICTION:	CITY OF MERCER ISLAND
SDCI PROJECT NUMBER:	N/A
DESCRIPTION OF WORK:	EXPANDING BUILDING TOWARDS THE SOUTH, EXPANDING TWO BEDROOMS AND ADDING TWO BATHROOMS
PROPOSED USE:	SINGLE FAMILY RESIDENCE
PARCEL NUMBER:	759810-0761
LOT AREA (SF):	9,617 SF
ZONE:	R-9.6
ECA:	YES
CONSTRUCTION TYPE:	TYPE -VB
PER SMC TABLE 601 / SECTION 602	
LEGAL DESCRIPTION:	SCHMIDS VITUS E SEATTLE ACRE TRS POR ELY & SLY OF LN BEG 159.25 FT E OF SW COR TH N 14-26-40 W 58.03 FT TH N 30-10-56 E 21.89 FT TH S 88-24-15 E TO WLY MGN OF CO RD Plat Block: 16 Plat Lot: 6

**PROJECT TEAM**

<b>OWNER:</b> JZ FAMILY TRUST 4815 E MERCER WAY MERCER ISLAND, WA 98040 CONTACT: JERRY ZHANG EMAIL: JERRY@HOOYOU.COM	<b>APPLICANT / ARCHITECT:</b> WEICHENG LI 5324 12TH AVE S SEATTLE, WA 98108 PHONE: 217-417-0473 CONTACT: WEICHENG LI EMAIL: LEEWEICHENG@GMAIL.COM
<b>STRUCTURAL ENGINEER:</b> BOSCO CHENG 6541 163RD PL SE BELLEVUE, WA 98006 PHONE: (206) 679-4164 CONTACT: BOSCO CHENG EMAIL: HKBOSCO1@MSN.COM	

DCI Approval Stamp

MARK	DESCRIPTION	DATE
	BUILDING PERMIT INTAKE	08/26/2024



8430 45TH ST SE

TITLE SHEET & PROJECT DATA

DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

**GO.00**

## ENERGY CREDITS

3.4 – HIGH EFFICIENCY HVAC EQUIPMENT:  
 Ductless Split System Heat Pumps, Zonal Control: In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to the largest zone of the housing unit.  
 To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.  
 1.5 CREDIT(S)

**1.5 CREDIT(S) TOTAL**

## MECHANICAL + ENERGY NOTES

- THE BUILDING MECHANICAL SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE 2021 IRC MECHANICAL PROVISIONS.
- VENTILATION OF ALL AREAS SHALL BE IN CONFORMANCE WITH WAC 51-11 AND WAC 51-13, 2021 IRC, CHAPTER 15, TABLES M1505.4.3(1) AND M1505.4.4.
- PROVIDE VENTING FOR ALL GAS HEATING APPLIANCES IN ACCORDANCE WITH THE HEATING APPLIANCE MANUFACTURER'S RECOMMENDATIONS, AND THE 2021 IRC.
- HEATING DESIGN TEMPERATURES: (PER 2021 WASHINGTON STATE ENERGY CODE) HEATING: 72 DEGREES INSIDE AND 24 DEGREES OUTSIDE.
- PROVIDE DUCT INSULATION AS REQUIRED BY 2021 WSEC R403.3.1.
- SOURCE SPECIFIC VENTILATION: VENTILATION (EXHAUST) SHALL BE PROVIDED IN BATHROOMS, KITCHENS, LAUNDRY ROOMS, SPA & POOL ROOMS AND OTHER ROOMS WHERE EXCESS WATER VAPOR OR COOKING ODOR ARE PRODUCED, AS REQUIRED BY THE 2021 IRC, CHAPTER 15 TABLE M1505.4.4; A WHOLE HOUSE VENTILATION SYSTEM SHALL BE INSTALLED; OF EITHER INTERMITTENT OR CONTINUOUS OPERATION, AS REQUIRED BY THE 2021 IRC, CHAPTER 15.
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION PER WSEC R403.3.3. A SIGNED AFFIDAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.
- A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH WSEC R401.3 IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE AIR LEAKAGE RATE DOES NOT EXCEED 5 AIR CHANGES PER HOUR, IS REQUIRED PRIOR TO FINAL INSPECTION PER WSEC R402.4.1.2. TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE PER WSEC R401.3.
- EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER WSEC 403.1.
- A MINIMUM OF 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER WSEC R404.1.
- VENTILATION (EXHAUST) TERMINATION SHOULD BE LOCATED NOT LESS THAN 36" FROM NEAREST BUILDING OPENING, AS REQUIRED BY 2021 IRC M1504.3.

## INSULATION NOTES

- INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT SHALL BE PROVIDED PER WSEC 2021 TABLE R402.1.1.

REQUIRED INSULATION VALUES: AS MODIFIED BY SELECTED WSEC TABLE R406.3 OPTION 1.3

FLOORS R-38  
 CEILING (VAULTED) R-38  
 CEILING R-49  
 EXTERIOR WALLS R-21 INT  
 BELOW GRADE WALL, INTERIOR INSULATION R-21+ THERMAL BREAK  
 BELOW GRADE WALL, EXTERIOR INSULATION R-10  
 SLAB ON GRADE R-10 UNDER ENTIRE SLAB  
 GLAZING - VERTICAL DOUBLE - U = .28 MAX.  
 GLAZING - OVERHEAD DOUBLE - U = .50 MAX.  
 GLAZING AREA UNLIMITED






- ALL EXTERIOR JOINTS AROUND WINDOWS AND DOORS, OPENINGS BETWEEN WALLS AND ROOF OR FOUNDATIONS, OPENINGS AT PENETRATIONS, AND ALL OTHER SUCH OPENINGS SHALL BE SEALED, CAULKED, OR HAVE A GASKET OR WEATHER STRIPPING TO LIMIT AIR LEAKAGE PER THE 2021 WSEC
- EXTERIOR DOORS ARE TO BE 1-3/4 INCH SOLID CORE WITH FULL WEATHER STRIP AND THRESHOLD. ALL GLAZING IN EXTERIOR DOORS IS TO BE DOUBLE GLAZED WITH SAFETY GLASS.
- WINDOW AND DOOR HEADERS TO BE INSULATED WITH A MINIMUM OF R-10 INSULATION.

## PLUMBING NOTES

- ALL PLUMBING WORK IS TO BE BIDDER DESIGNED AND SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. OBTAIN AND PAY FOR PERMITS.
- PROVIDE PRESSURE RELIEF VALVE FOR HOT WATER TANK. DRAIN TO THE OUTSIDE OF THE BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6 INCHES ABOVE THE GROUND, POINTING DOWN.
- HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND OVER FOUR FEET TALL SHALL BE STRAPPED DOWN TO PREVENT OVERTURN IN THE EVENT OF AN EARTHQUAKE.
- HOT WATER HEATERS LOCATED IN GARAGES SHALL BE ELEVATED PER 2021 UPC 507.13
- PROVIDE AN APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS.
- CONTRACTOR SHALL PROVIDE A DWV AND WATER DISTRIBUTION RISER DIAGRAM FOR COUNTY AND ARCHITECT REVIEW.
- EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL.
- CONTRACTOR TO PROVIDE HORIZONTAL DRAINAGE PIPING THAT MEETS UPC FOR SLOPE REQUIREMENTS.

## VENTILATION NOTES

- ALL EXHAUST SYSTEMS MUST BE DESIGNED PER 2021 IRC, CHAPTER 15. MECHANICAL VENTILATING SYSTEMS IN BATHROOMS, LAUNDRY ROOMS AND SIMILAR ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST THREE FEET FROM ANY OPENING INTO THE BUILDING.

-  100 CFM ON SWITCH
-  50 CFM ON SWITCH
-  WHOLE HOUSE FAN \* 60 CFM ON CONTINUOUS TIMER, PER 2015 SRC, M1507.3
-  X  → ARROW INDICATES EXHAUST TERMINUS

## ELECTRICAL NOTES

- ALL ELECTRICAL WORK IS TO BE BIDDER DESIGNED AND SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS RELATED TO THE PARTY'S SCOPE OF WORK.
- WIRING METHODS SHALL BE AS PERMITTED BY "CODE" AND INSTALLATION PER "NEC" STANDARDS.
- USE OF ALUMINUM WIRE IS LIMITED TO SIZE #4 AND LARGER.
- ALL DEVICES TO BE SPECIFICATION GRADE.
- ALL NEW ELECTRICAL PANELS OR LOAD CENTERS TO BE PROTECTED ON LINE SIDE BY CURRENT LIMITING FUSES.
- LOCATE RECEPTACLES: ALL RECEPTACLES SHALL BE AT 15 INCHES FROM FINISHED FLOOR TO BOTTOM OF BOX UNLESS NOTED OTHERWISE.
- ALL SWITCHES SHALL BE 42 INCHES FROM FINISHED FLOOR TO BOTTOM OF BOX UNLESS NOTED OTHERWISE.
- VERIFY ALL RECEPTACLES, SWITCH, AND FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- ALL EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.
- MINIMUM 90% OF ALL INTERIOR LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES (PER WSEC 404.D) AND ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES.

## CARBON MONOXIDE ALARM

- A CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS AND ON EACH LEVEL AS PER IRC R315.

## SMOKE DETECTOR

- A SMOKE DETECTOR SHALL BE INSTALLED IN EACH HABITABLE ROOM.
- A SMOKE DETECTOR SHALL BE CENTRALLY LOCATED ON EACH FLOOR.
- AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24".
- SMOKE DETECTORS TO BE 110v HARDWIRED, INTERCONNECTED, WITH BATTERY BACKUP PER IRC R314
- SMOKE ALARM LOCATION TO BE AT LEAST 3 FEET HORIZONTALLY FROM BATHROOM DOORS TO BATHROOMS WITH TUBS OR SHOWERS.

## STAIR NOTES

- STAIRS TO MEET ALL BUILDING CODE REQUIREMENTS FOR MEANS OF EGRESS OF INDIVIDUAL DWELLING UNITS PROVIDING EXIT ACCESS STAIRWAYS PER 2021 IRC.
- EGRESS STAIRS SHALL BE 36" MIN. CLEAR IN WIDTH PER IRC.
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS PER 2021 IRC.
- STAIR TREADS SHALL BE 10" MIN. IN DEPTH PER 2021 IRC.
- STAIR RISERS SHALL BE 7-3/4" MAX. IN HEIGHT PER 2021 IRC.
- BEVELING OF NOSING SHALL NOT EXCEED 9/16" AND NOT ANGLE MORE THAN 30° FROM VERTICAL. NOSING SHALL BE UNIFORM THROUGHOUT ANY FLIGHT OF STAIRS, INCLUDING THE LEADING EDGE AT THE TOP OF A FLIGHT PER 2018 IRC.
- HANDRAILS ARE TO BE GRASPABLE, WITH A DIAMETER BETWEEN 1 1/4 INCHES AND 2 INCHES OR SHALL PROVIDE EQUIVALENT GRASPABILITY. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION BETWEEN 4 INCHES AND 6 1/4 INCHES WITH A MAX. CROSS-SECTION DIMENSION OF 2 1/4 INCHES AND A MIN. EDGE RADIUS OF 0.01 INCH PER 2021 IRC.
- HANDRAILS SHALL BE CONTINUOUS BETWEEN FLIGHTS, OR THEY SHALL RETURN TO A WALL OR THE WALKING SURFACE. AT THE TOP OF A STAIRWAY, HANDRAILS MUST EXTEND HORIZONTALLY 12 INCHES BEYOND THE TOP RISER. AT THE BOTTOM OF THE STAIRWAY, HANDRAILS MUST CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. EXTENSIONS NOT REQUIRED ON STAIRWAYS THAT ARE NOT PART OF A REQUIRED MEANS OF EGRESS PER 2021 R3117.8.4 IN THE IRC REGULATING DETACHED ONE AND TWO FAMILY DWELLINGS.
- HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED AND CONSTRUCTED TO THE STRUCTURAL LOADING CONDITIONS SET FORTH PER 2021 IRC.
- GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW AND AS SHOWN IN THE DRAWINGS PER 2021 IRC.
- GUARDS SHALL FORM A PROTECTIVE BARRIER NO LESS THAN 36" HIGH PER 2021 IRC.
- PROVIDE 1 1/2" DIAMETER WD HANDRAIL @ 36" ABOVE FLOOR TREAD, TYP.
- MIN 36 INCH HIGH RAILINGS W/ MEMBERS SPACED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH IRC COMPLIANT.
- PROVIDE 1/2 INCH GYPSUM BOARD AT UNDER-STAIR SOFFIT AND WALLS OF ACCESSIBLE SPACES UNDER STAIR
- PROVIDE HORIZONTAL FIRE BLOCKING BETWEEN STORIES FOR ALL EXTERIOR SIDING SYSTEMS THAT ARE FURRED BEYOND THE EXTERIOR SHEATHING

## ARCHITECTURAL GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH: THE 2021 INTERNATIONA BUILDING CODE (IBC), THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2021 WASHINGTON STATE ENERGY CODE (WSEC).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE INCLUDING SOIL CONDITIONS AND CONDITIONS RELATED TO THE EXISTING UTILITIES AND RESPONSIBLE FOR SAME. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FULLY AWARE OF ANY AND ALL CONDITIONS RELATED TO THE SITE AND EXISTING CONDITIONS THAT MAY AFFECT THE COST OF SCHEDULING CONSTRUCTION ACTIVITIES, PRIOR TO SUBMITTING BID.
- DO NOT SCALE DRAWINGS OR DETAILS. - USE GIVEN DIMENSIONS. CHECK DETAILS FOR LOCATION OF ALL ITEMS NOT DIMENSIONED ON PLANS. DOOR AND CASED OPENINGS WITHOUT DIMENSIONS ARE TO BE SIX (6) INCHES FROM FACE OF ADJACENT WALL OR CENTERED BETWEEN WALLS.
- THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- BUILDING SYSTEMS AND COMPONENTS NOT SPECIFICALLY DETAILED SHALL BE INSTALLED, PER MINIMUM MANUFACTURERS' RECOMMENDATIONS. NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- INSTALL DUST BARRIERS AND OTHER PROTECTION AS REQUIRED TO PROTECT INSTALLED FINISHES AND FACILITIES.
- PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER(S) OR OTHER SUPPLEMENTARY DRAWINGS SHALL BE BROUGHT TO THE OWNERS ATTENTION IN WRITING.
- THERE SHALL BE NO EXPOSED PIPE, CONDUITS, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS. OFFSET STUDS WHERE REQUIRED, SO THAT FINISHED WALL SURFACE WILL BE FLUSH.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CARRY ALL FOOTINGS TO SOLID, UNDISTURBED ORIGINAL EARTH. REMOVE ALL UNSUITABLE MATERIAL UNDER FOOTINGS AND SLAB AND REPLACE WITH CONCRETE OR WITH COMPACTED FILL AS DIRECTED BY A GEO-TECHNICAL ENGINEER.
- ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE 2021 IRC 16. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR EXPOSED WEATHER SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE UNLESS DECAY RESISTANT HEARTWOOD OF CEDAR OR REDWOOD IS USED.
- FASTENERS FOR TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED STEEL (Z-MAX OR EQ.), STAINLESS STEEL, SILICON BRONZE, OR COPPER.
- ALL WOOD LESS THAN 6 INCHES FROM THE GROUND OR 2 INCHES MEASURED VERTICALLY FROM EXTERIOR CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER SHALL BE A NATURALLY DURABLE WOOD OR PRESSURE TREATED WITH AN APPROVED PRESERVATIVE PER 2021 IRC R317.
- PROVIDE FIRE-BLOCKING VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET AND AS REQUIRED FOR CONCEALED SPACES UNDER 2021 IRC R302.11
- NAIL GYPSUM WALLBOARD TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH COOLER NAILS @ 7 INCHES O.C. MAXIMUM SPACING UNLESS SHOWN OTHERWISE. USE 5d FOR 1/2 INCH WALLBOARD, 6d FOR 5/8 INCH WALLBOARD.
- PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.
- ALL PRIVATE GARAGES AND DWELLINGS SHALL BE SEPARATED BY 1-3/8" SOLID-CORE WOOD, 1-3/8" SOLID OR HONEYCOMB STEEL, OR 20 MIN. RATED GARAGE/DWELLING DOOR EQUIPPED WITH A SELF-CLOSING DEVICE; MIN. 1/2" GYPSUM WALLBOARD AT GARAGE WALLS AND 5/8" TYPE X GYPSUM BOARD CEILING SEPARATING THE GARAGE FROM THE DWELLING; MIN. 1/2" GYPSUM WALLBOARD WRAPPING POSTS, BEAMS AND WALLS SUPPORTING THE DWELLING ABOVE THE GARAGE PER IRC R302.6
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UTILITIES AND SERVICES TO THE SITE PRIOR TO BEGINNING ANY SITE IMPROVEMENTS.
- NO MATERIALS FROM THE WORK ARE TO BE STOCK PILED ON THE PUBLIC RIGHT-OF-WAYS. ALL RUBBISH AND DEBRIS IS TO BE REMOVED FROM THE SITE.
- ADJACENT PROPERTIES, STREETS AND WALKS ARE TO BE PROJECTED FROM DAMAGE AT ALL TIMES.
- ALL DOWNSPOUTS AND ROOF DRAINS TO BE CONNECTED TO STORM SEWER BY TIGHTLINE UNLESS SITE CONDITIONS ALLOW FOR DRYWELLS OR SURFACE DRAINAGE AND UNLESS NOTED OTHERWISE IN CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ARE FACE OF FRAMING, CENTER LINE OF COLUMN, OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT PRIOR TO BUILDING OCCUPATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES DURING THE COURSE OF THE PROJECT.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKPERSONS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. SAID PLANS ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR AND/OR THE SUB-CONTRACTORS SHALL APPLY FOR, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES EXCEPT FOR THE BUILDING PERMIT.
- ALL STAIRWAYS MUST MEET THE REQUIREMENTS OF 2018 IRC R311.7.
- ALL EMERGENCY ESCAPES AND RESCUE OPENINGS FOR BEDROOMS AND BASEMENTS MUST MEET THE REQUIREMENTS OF 2018 IRC R310.
- ROOF VENTILATION MUST MEET THE REQUIREMENTS OF 2018 IRC R806.
- ALL SIDING METHODS MUST HAVE A WEATHER RESISTIVE BARRIER THAT MEETS THE REQUIREMENTS OF 2021 IRC R703.2. GENERAL WEATHER PROTECTION FOR THE ENTIRE PROJECT MUST MEET THE REQUIREMENTS OF IRC 2021 R903.
- ALL GUARDRAILS FOR DECKS, BALCONIES, AND OPEN RAILINGS MUST MEET THE REQUIREMENTS OF 2021 IRC R312.
- ALL SKYLIGHTS AND SLOPED GLAZING MUST MEET THE REQUIREMENTS OF 2021 IRC R308.6.
- ALL CEILING HEIGHTS MUST MEET THE REQUIREMENTS OF 2021 IRC R305.
- ALL UNDER FLOOR AND CRAWL SPACE MUST BE ACCESSIBLE PER 2021 IRC R408.4.
- ATTIC ACCESS MUST BE SIZED AND LOCATED ACCESSIBLY PER 2021 IRC R807.1.

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8430 45TH ST SE

GENERAL NOTES

DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

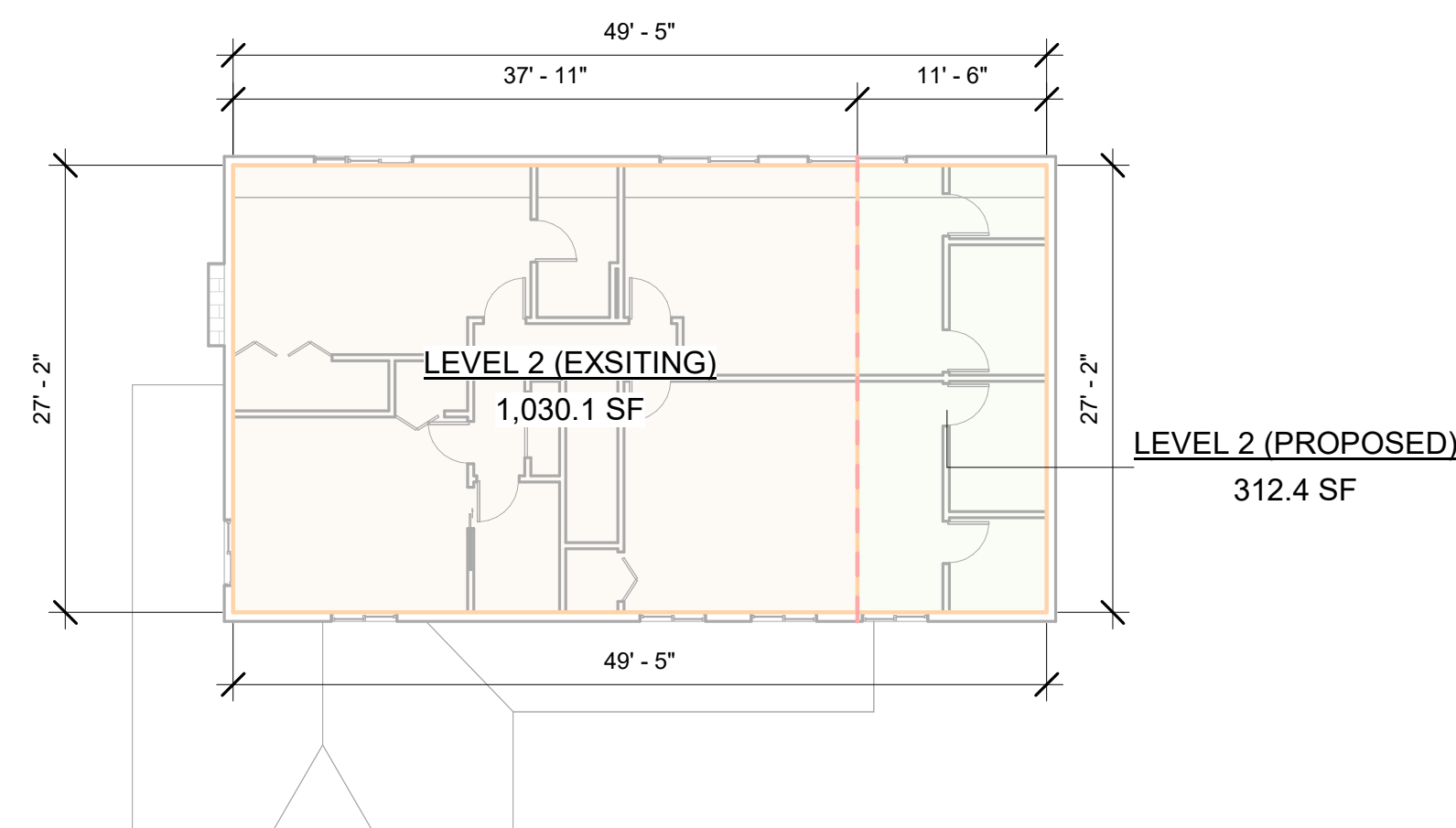
**GO.01**

**FAR CALCULATIONS**

EXISTING	
FIRST FLOOR	1420.50 SF
SECOND FLOOR	1030.07 SF
	2450.57 SF
PROPOSED	
FIRST FLOOR	88.08 SF
SECOND FLOOR	312.42 SF
	400.50 SF
(3,846.80 SF ALLOWABLE)	2851.07 SF
FAR LIMIT: 40% X 9617 =	3846.80 SF

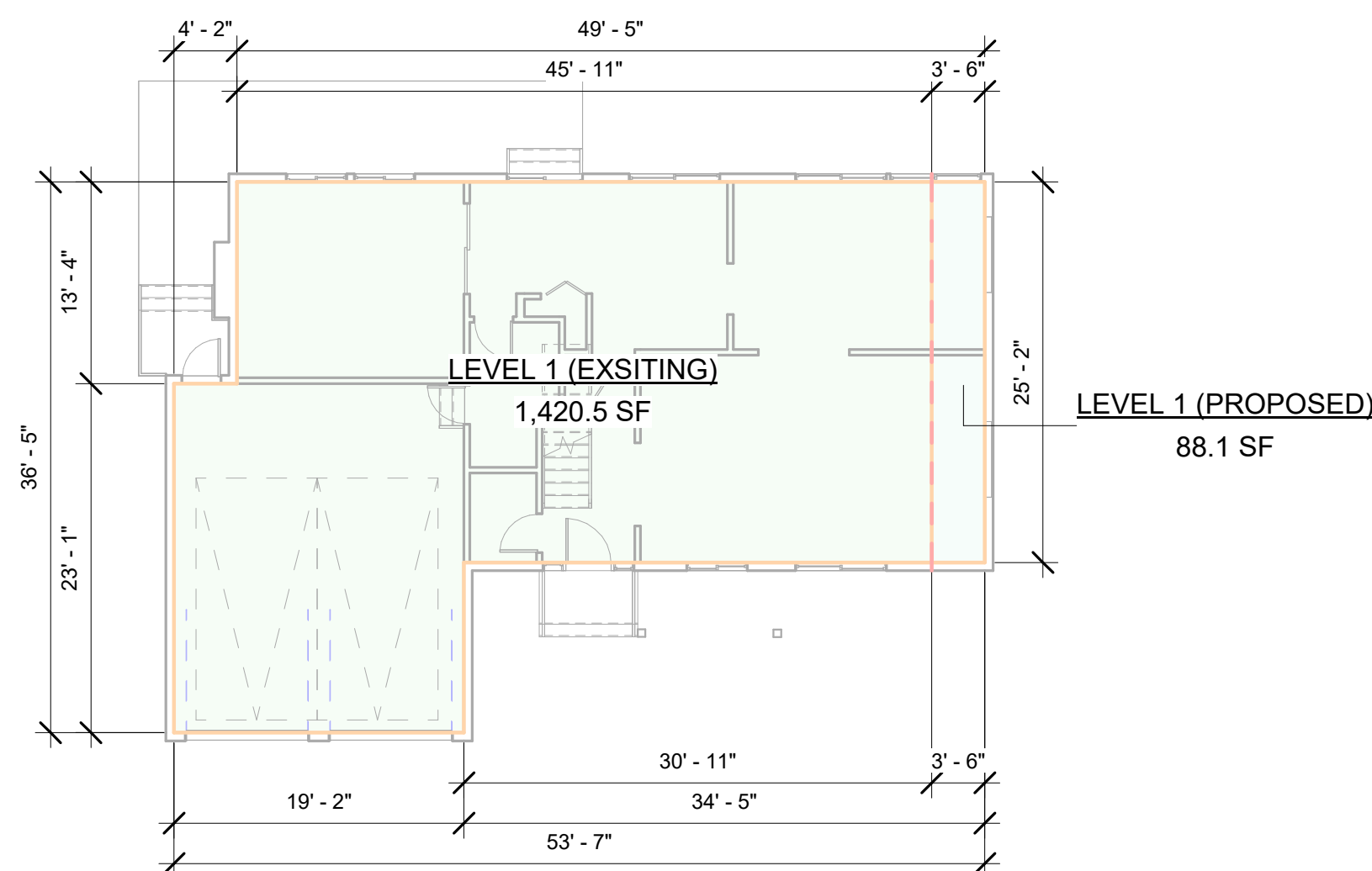
**LOT COVERAGE CALCULATIONS**

EXISTING LOT COVERAGE:	1,592.46 SF
PROPOSED LOT COVERAGE:	112.67 SF
TOTAL ALLOWED:	1,705.13 SF
	3,846.80 SF (40% OF LOT AREA)



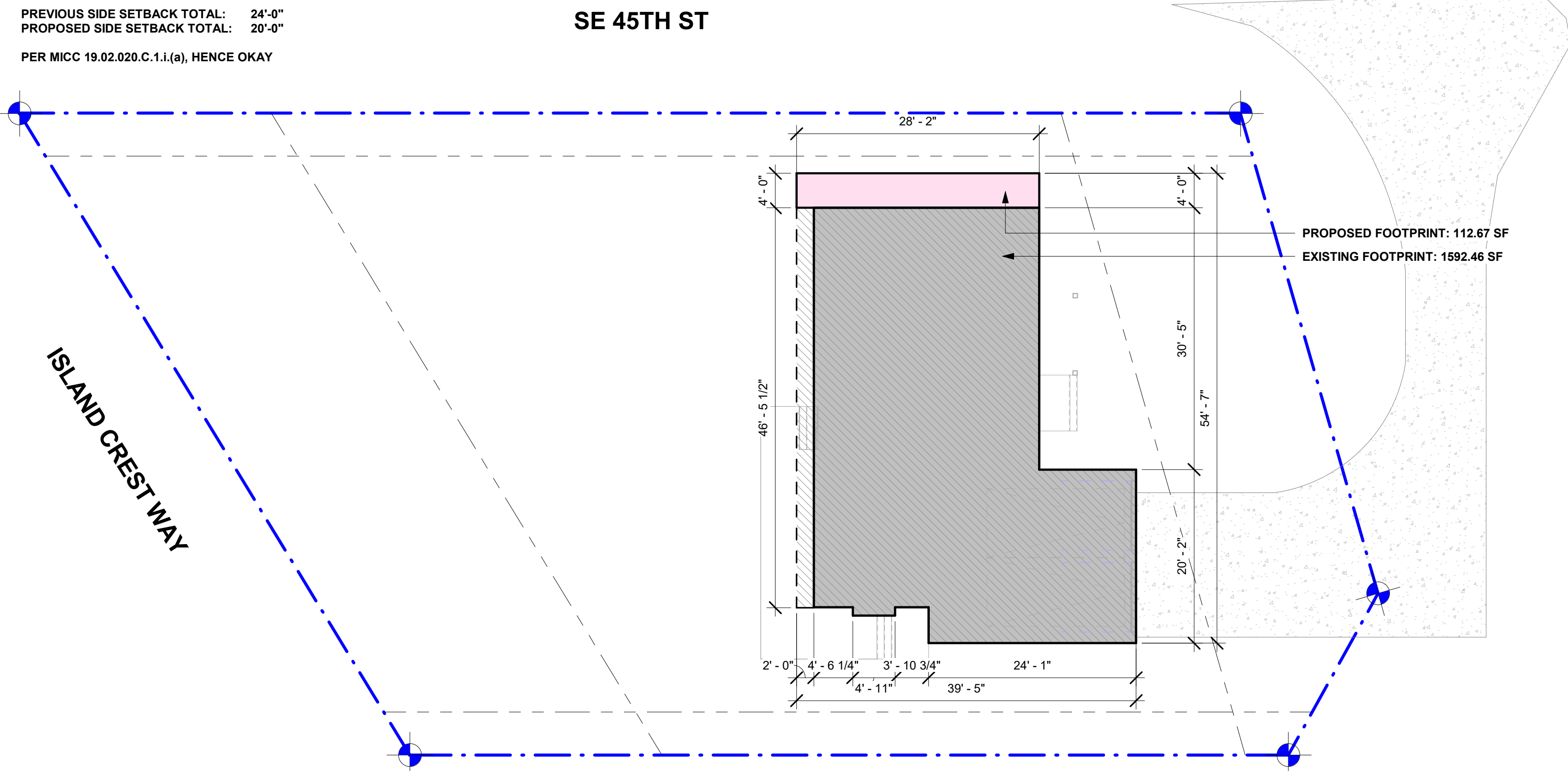
**1 FAR DIAGRAM - SECOND FLOOR**

SCALE: 3/32" = 1'-0"



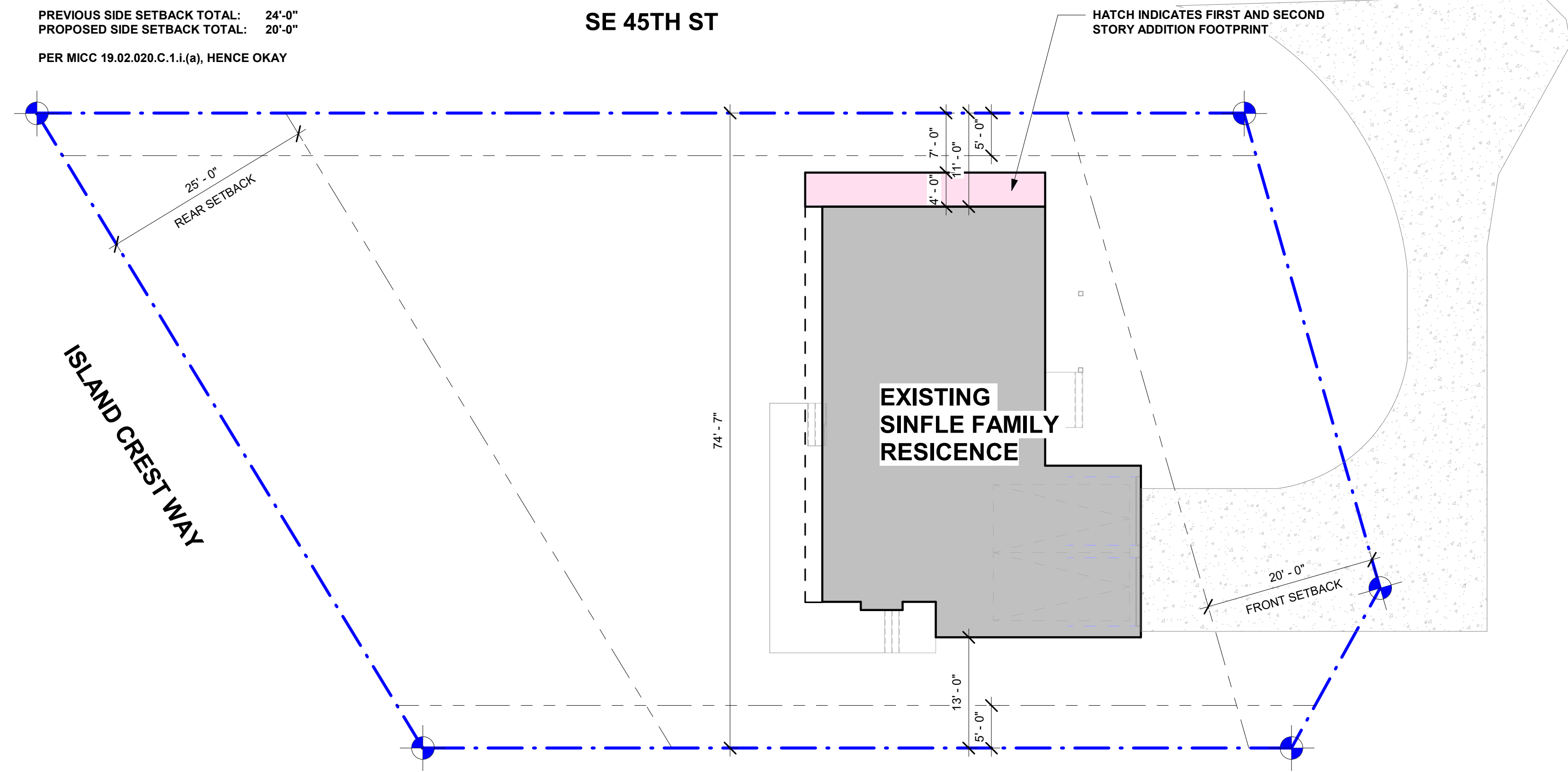
**2 FAR DIAGRAM - FIRST FLOOR**

SCALE: 3/32" = 1'-0"



**4 SETBACK DIAGRAM Copy 1**

SCALE: 3/32" = 1'-0"



**3 SETBACK DIAGRAM**

SCALE: 3/32" = 1'-0"

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ZONING CODE ANALYSIS & DIAGRAMS

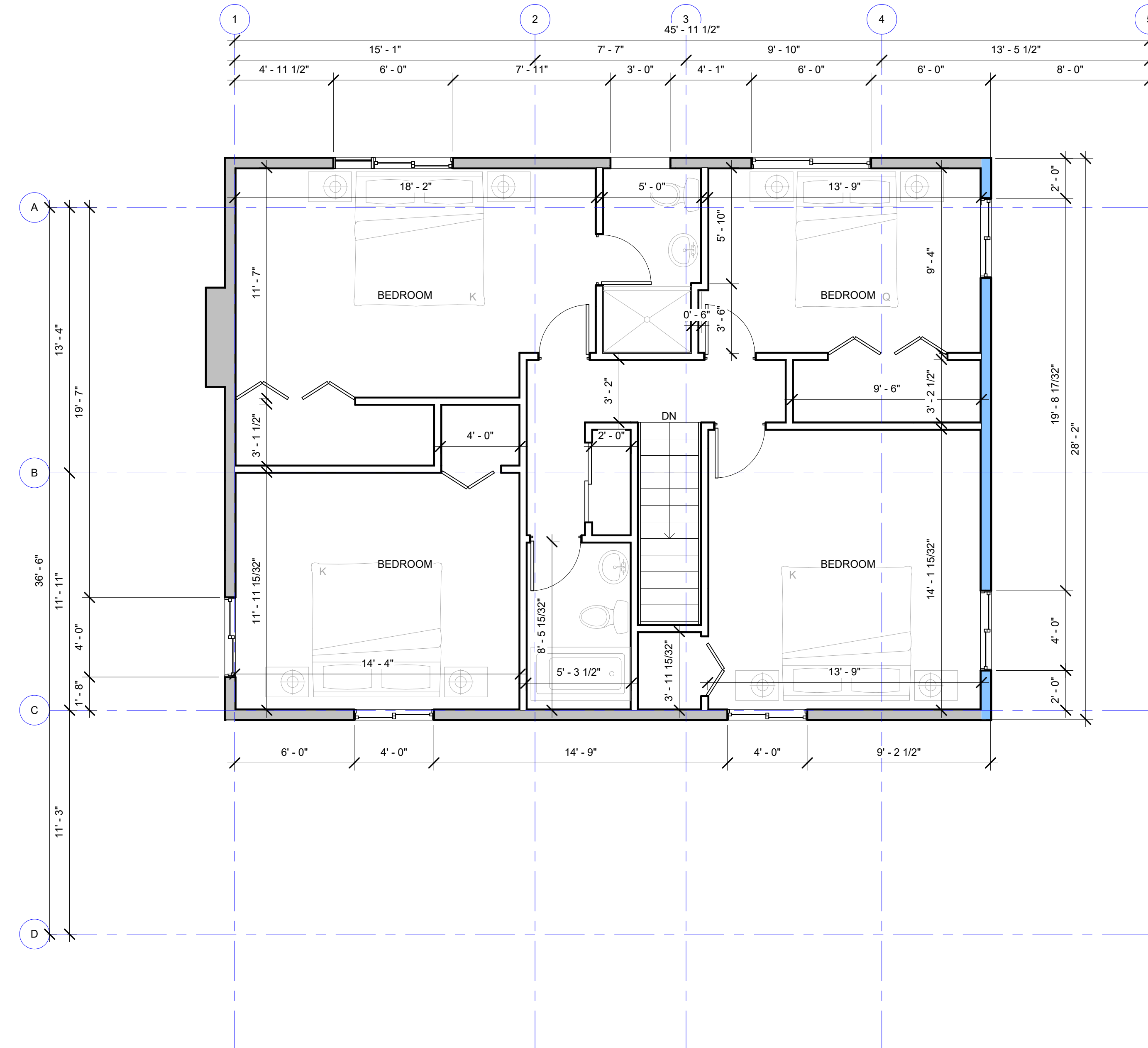
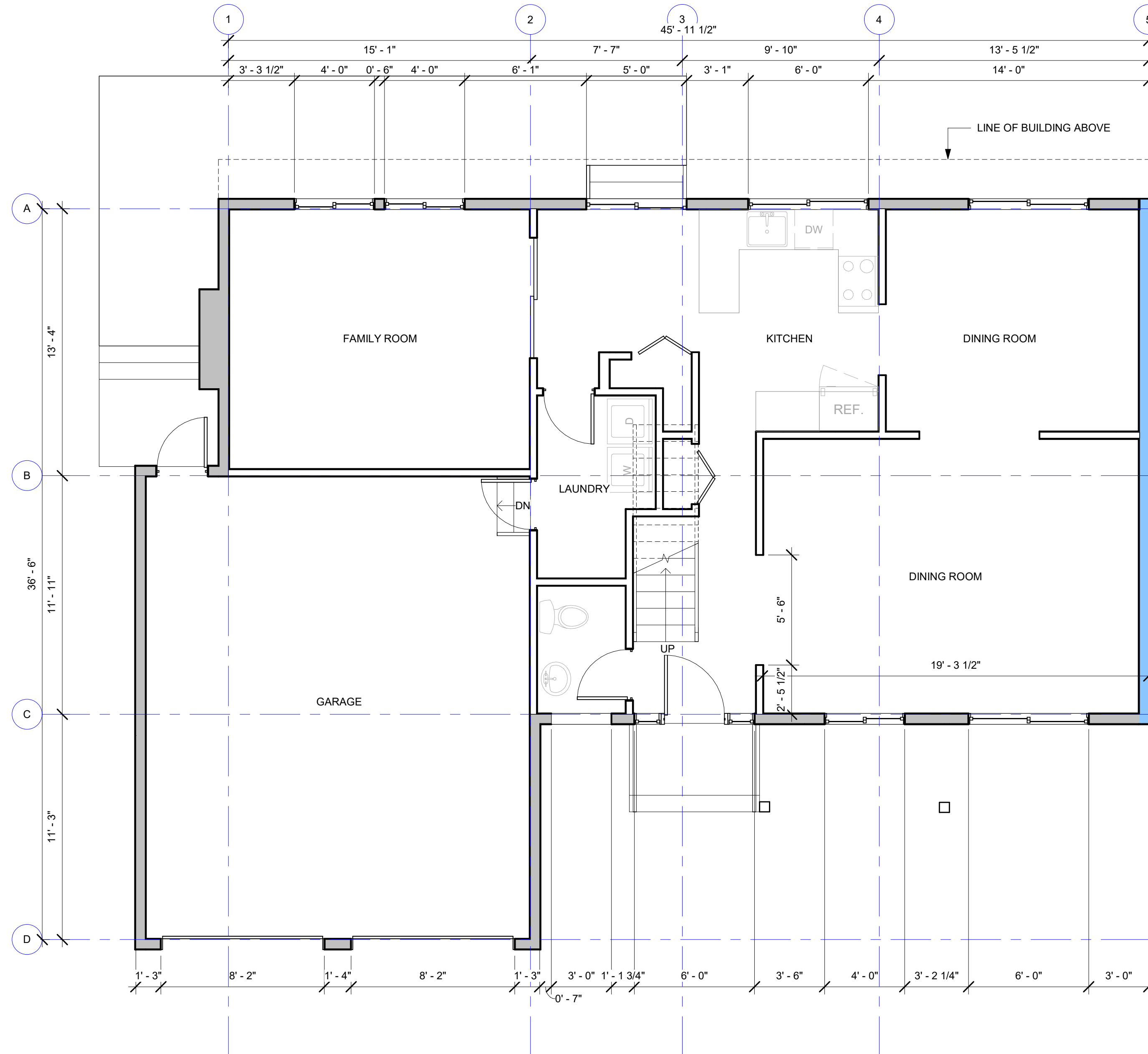
DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

**GO.02**



**LEGEND**

- NEW PROPOSED BUILDING AREA
- WALL TO REMOVE



**1 LEVEL 1 PLAN**  
SCALE: 1/4" = 1'-0"

**3 LEVEL 2 PLAN**  
SCALE: 1/4" = 1'-0"

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EXISTING FLOOR PLANS



DCI Project Numbers	-
Issue Date	08/01/2022
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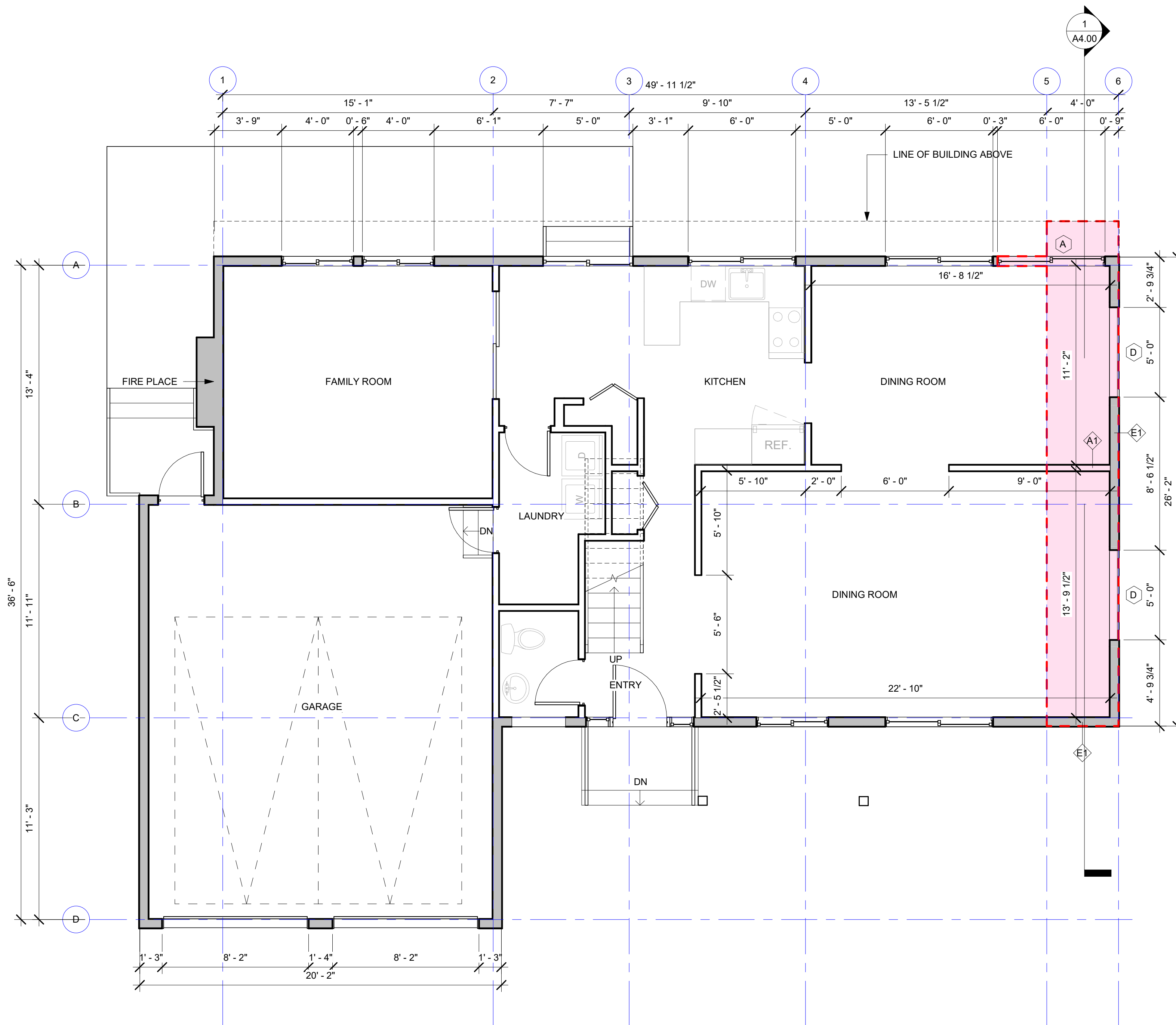
**A2.00**

**TYPICAL FLOOR PLAN NOTES**

**LEGEND**

- REFER TO SHEET A8.00 FOR ALL WALL AND FLOOR ASSEMBLIES.
- REFER TO STRUCTURAL SHEETS FOR ALL COLUMN, BEAM, JOIST SCHEDULES.
- ALL INTERIOR WALLS TO BE 2x4 @ 16" OC (UNO).
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" OC (UNO).
- INSULATED EXTERIOR WALLS TO BE MIN R-21.
- HEADERS MIN R-10 PER SEC 6-1, FOOTNOTE 7.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR REQUIRED GRAB BARS, HANDRAILS, SHELVES, CABINETS, BRACKETS, ETC.
- PROVIDE FIREBLOCKING OVER SUPPORTS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- ALL WINDOWS TO BE FLUSH HEADERS UNO.
- WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS.
- PROVIDE TEMPERED SAFETY GLAZING PER IRC R308 IN ALL DOORS, TYP.

-  NEW PROPOSED BUILDING AREA
-  WALL TO REMOVE



**1 LEVEL 1 PLAN**  
SCALE: 1/4" = 1'-0"

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PROPOSED FLOOR PLANS

DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

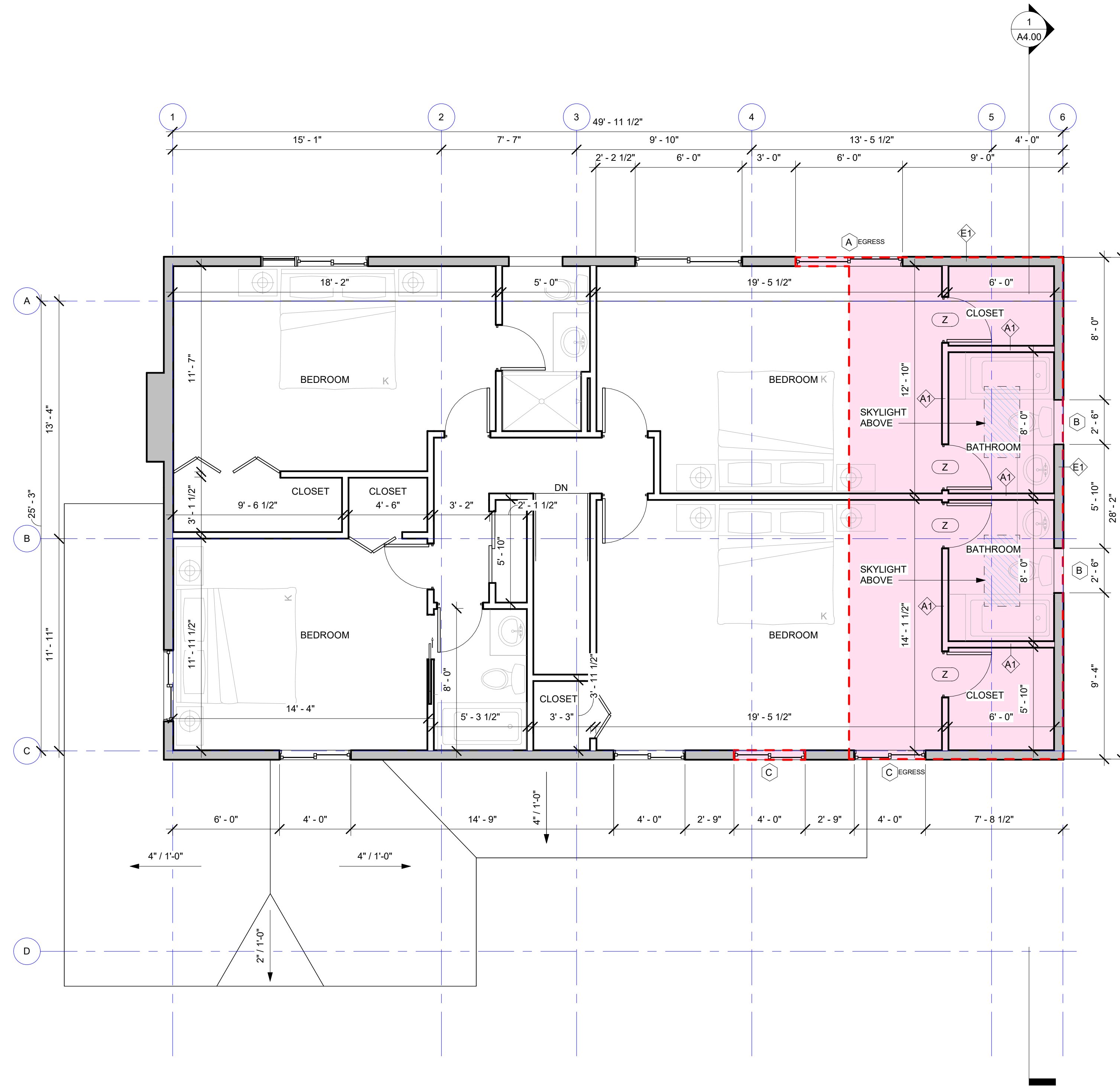
**A2.10**

**TYPICAL FLOOR PLAN NOTES**

**LEGEND**

- REFER TO SHEET A8.00 FOR ALL WALL AND FLOOR ASSEMBLIES.
- REFER TO STRUCTURAL SHEETS FOR ALL COLUMN, BEAM, JOIST SCHEDULES.
- ALL INTERIOR WALLS TO BE 2x4 @ 16" OC (UNO).
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" OC (UNO).
- INSULATED EXTERIOR WALLS TO BE MIN R-21.
- HEADERS MIN R-10 PER SEC 6-1, FOOTNOTE 7.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR REQUIRED GRAB BARS, HANDRAILS, SHELVES, CABINETS, BRACKETS, ETC.
- PROVIDE FIREBLOCKING OVER SUPPORTS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- ALL WINDOWS TO BE FLUSH HEADERS UNO.
- WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS.
- PROVIDE TEMPERED SAFETY GLAZING PER IRC R308 IN ALL DOORS, TYP.

- NEW PROPOSED BUILDING AREA
- WALL TO REMOVE



**1 LEVEL 2 PLAN**  
SCALE: 1/4" = 1'-0"

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PROPOSED FLOOR PLANS

DCI Project Numbers	-
Issue Date	06/09/2024
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Checked by	WL

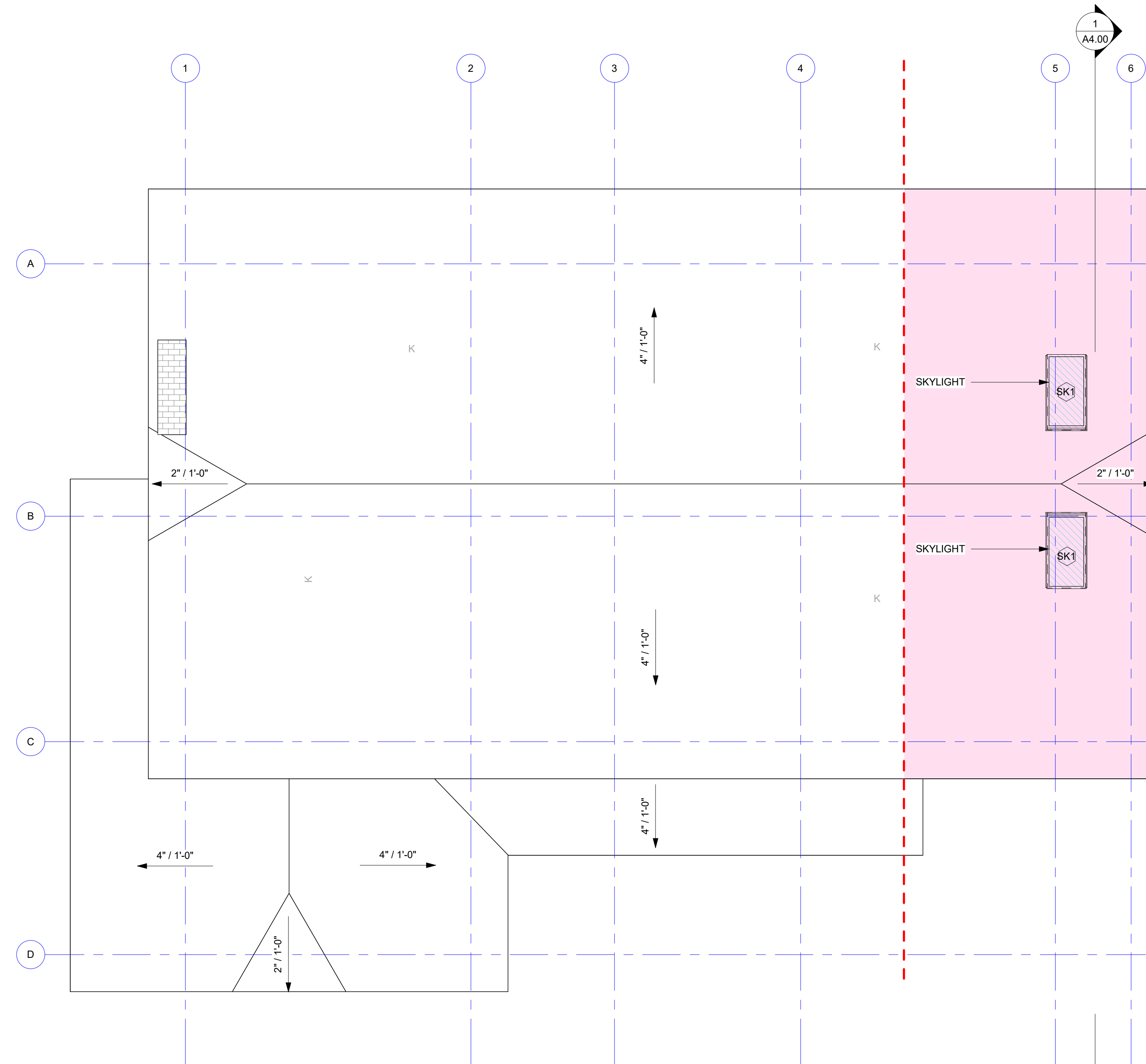
**A2.11**

**TYPICAL FLOOR PLAN NOTES**

**LEGEND**

- REFER TO SHEET A8.00 FOR ALL WALL AND FLOOR ASSEMBLIES.
- REFER TO STRUCTURAL SHEETS FOR ALL COLUMN, BEAM, JOIST SCHEDULES.
- ALL INTERIOR WALLS TO BE 2x4 @ 16" OC (UNO).
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" OC (UNO).
- INSULATED EXTERIOR WALLS TO BE MIN R-21, HEADERS MIN R-10 PER SEC 6-1, FOOTNOTE 7.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR REQUIRED GRAB BARS, HANDRAILS, SHELVES, CABINETS, BRACKETS, ETC.
- PROVIDE FIREBLOCKING OVER SUPPORTS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- ALL WINDOWS TO BE FLUSH HEADERS UNO.
- WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS.
- PROVIDE TEMPERED SAFETY GLAZING PER IRC R308 IN ALL DOORS, TYP.

- NEW PROPOSED BUILDING AREA
- WALL TO REMOVE



**1 LEVEL 3 PLAN**  
SCALE: 1/4" = 1'-0"

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PROPOSED FLOOR PLANS

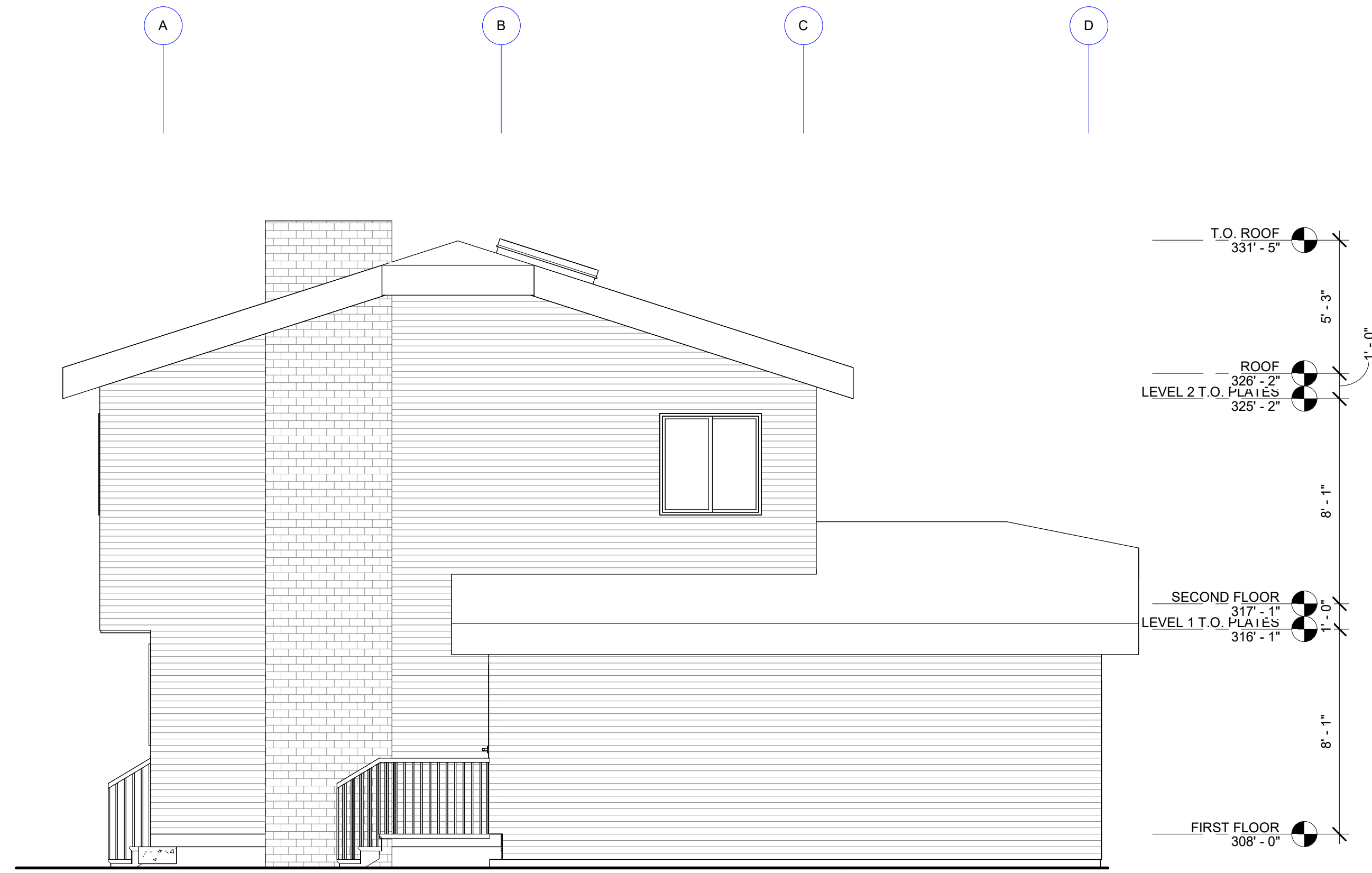
DCI Project Numbers	-
Issue Date	06/09/2024
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Checked by	WL

**A2.12**

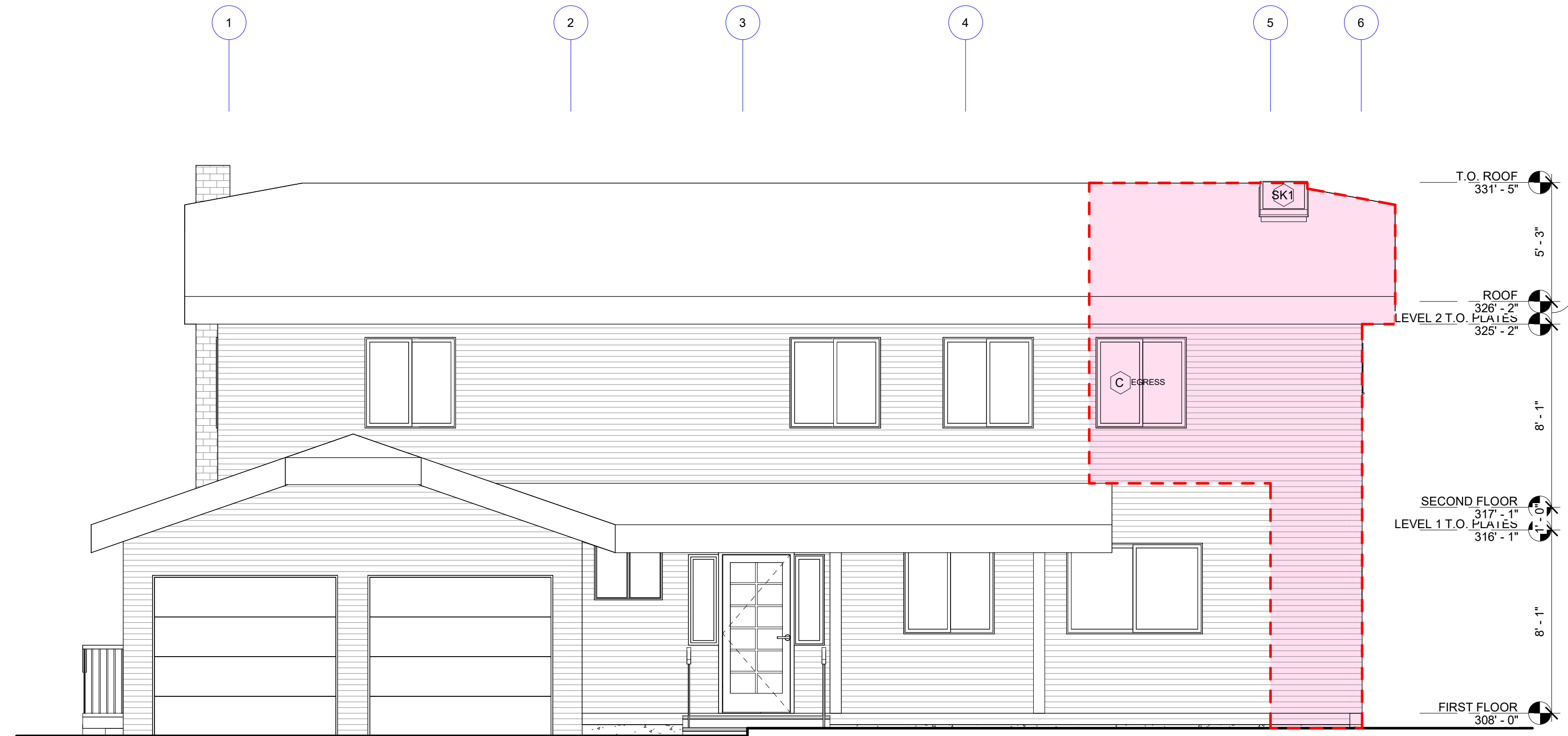
**LEGEND**

- NEW PROPOSED BUILDING AREA
- WALL TO REMOVE

**KEYNOTE LEGEND**



**5 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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	BUILDING PERMIT INTAKE	08/26/2024

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BUILDING ELEVATIONS

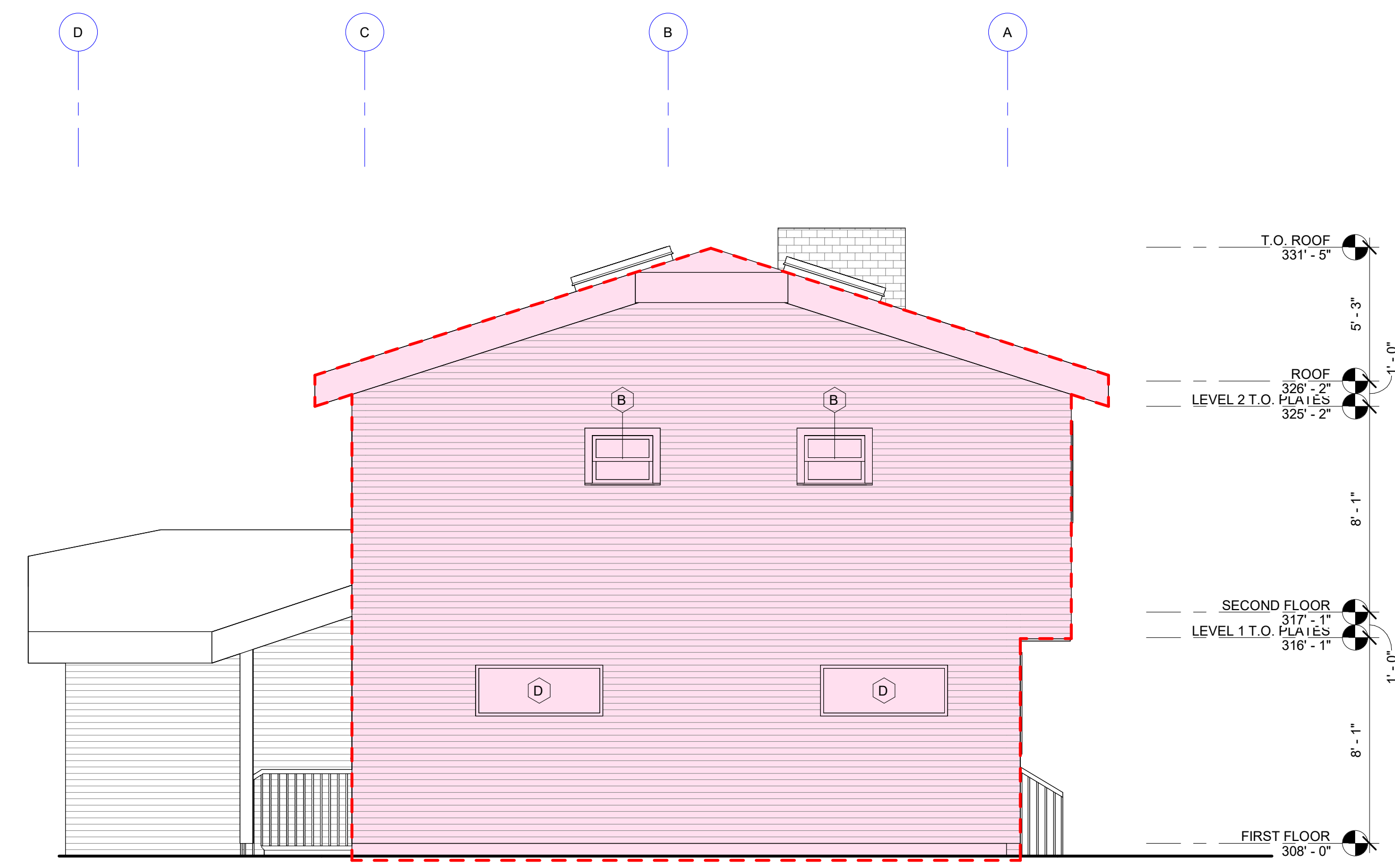
DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

**A3.00**

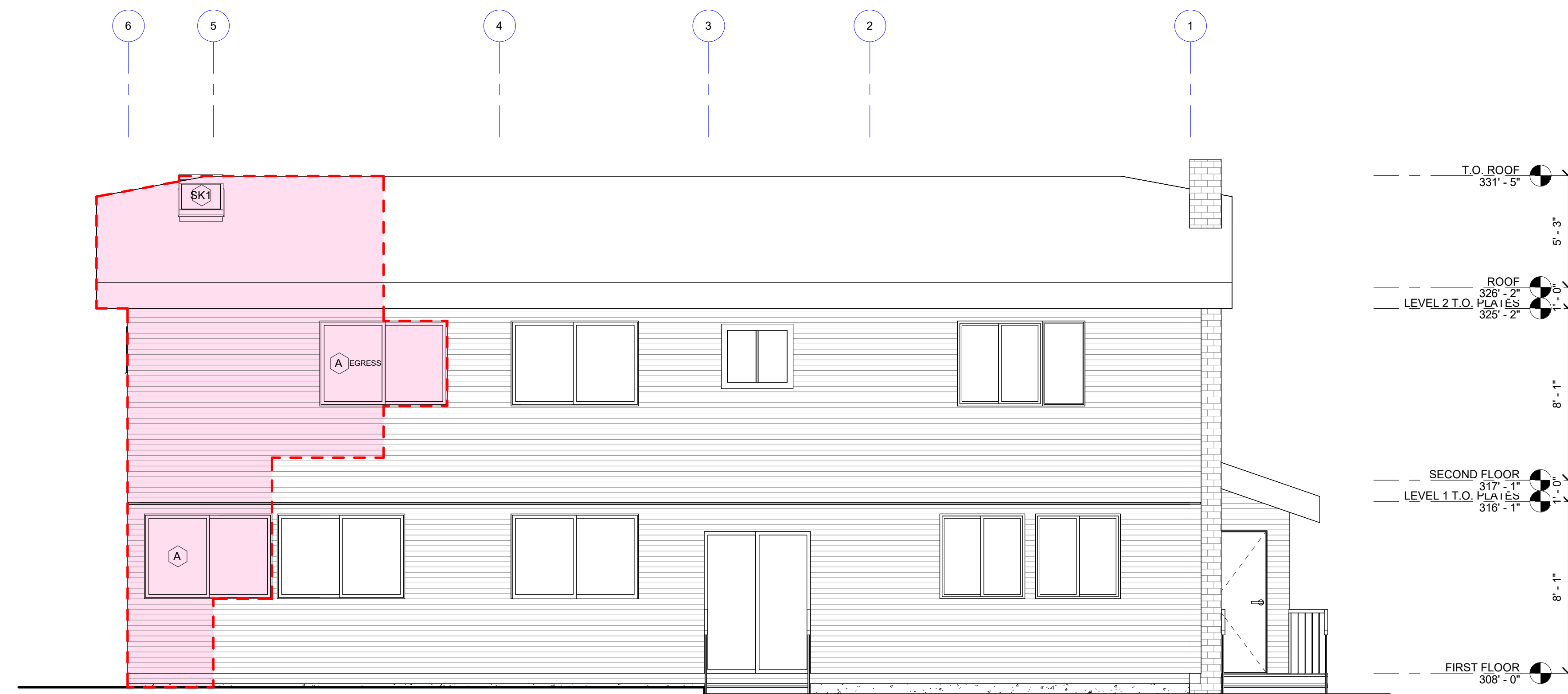
**LEGEND**

- NEW PROPOSED BUILDING AREA
- WALL TO REMOVE

**KEYNOTE LEGEND**



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

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BUILDING ELEVATIONS

DCI Project Numbers	-
Issue Date	06/09/2024
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Checked by	WL

**A3.01**

**LEGEND**

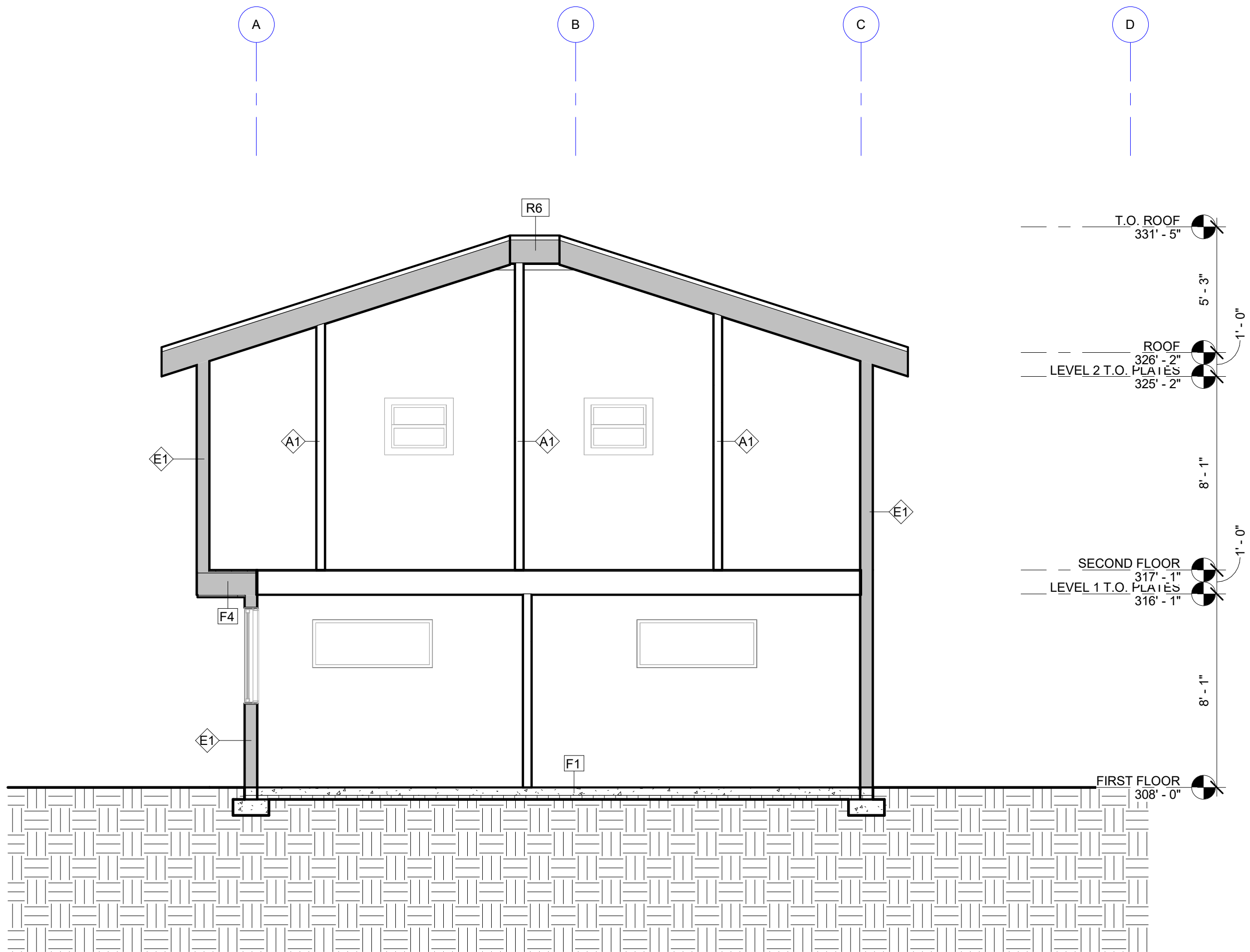
- - - - - NEW PROPOSED EXTERIOR FINISH
- - - - - EXISTING EXTERIOR FINISH TO REMAIN

**SECTION GENERAL NOTES**

- SEE ASSEMBLIES DETAIL ON SHEET A8.00
- ALL PARTY WALL FIRE RATINGS MUST BE CONTINUOUS FROM FOUNDATION TO ROOF SHEATHING

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**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

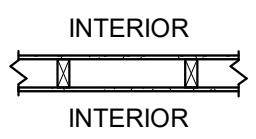
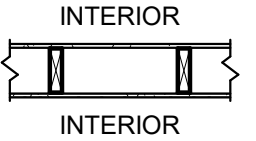
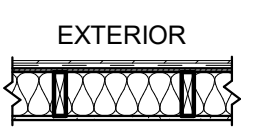
8430 45TH ST SE

BUILDING SECTIONS

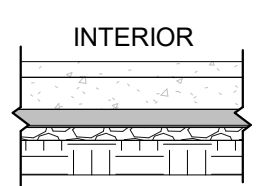
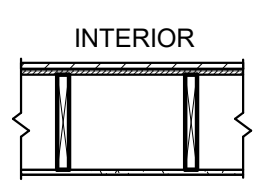
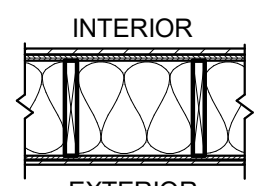
DCI Project Numbers	-
Issue Date	06/09/2024
Drawn by	
Checked by	WL

**A4.00**

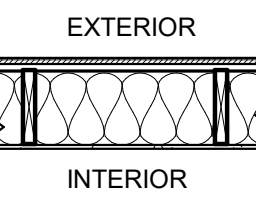
### WALL ASSEMBLIES

TYPE	DETAIL	DESCRIPTION	FIRE RATING	THERMAL	STC RATING
A1		TYPICAL INTERIOR 2X4 WALL - PVA PRIMER AND PAINT - 1/2" GWB - 2X4 @ 16" O.C. - 1/2" GWB - PVA PRIMER AND PAINT			
A2		TYPICAL INTERIOR 2X6 WALL - PVA PRIMER AND PAINT - 1/2" GWB - 2X6 @ 16" O.C. - 1/2" GWB - PVA PRIMER AND PAINT			
E1		TYPICAL EXTERIOR 2X6 WALL - SIDING PER ELEVATION - WEATHER RESISTANT BARRIER - SHEATHING AND NAILING PER STRUCTURAL - 2X6 @ 16" O.C. - R-21 BATT INSULATION - 1/2" GWB - PVA PRIMER AND PAINT		R-21	

### FLOOR ASSEMBLIES

TYPE	DETAIL	DESCRIPTION	FIRE RATING	THERMAL	STC RATING
F1		TYPICAL SLAB ON GRADE - 1 1/2" SELF - LEVELING CONCRETE SALB (DECK MUD MAY BE USED IN LIEU OF SELF LEVELING CONCRETE) - VAPOR BARRIER - EXISTING CONCRETE SLAB ON GRADE - 2" RIGID INSULATION, UNDER ENTIRE SLAB (R-10 MIN) - FREE DRAINING FILL - COMPACTED NATIVE BEARING SOIL		R-10	
F3		TYPICAL UPPER FLOOR FRAMING - FINISH FLOOR PER PLANS - SHEATHING AND NAILING PER STRUCT - FLOOR JOISTS PER STRUCT - 1/2" GWB - PVA PRIMER AND PAINT			
F4		TYPICAL CANTILEVERED FLOOR FRAMING - FINISH FLOOR PER PLANS - SHEATHING AND NAILING PER STRUCT - FLOOR JOISTS PER STRUCT - FULL DEPTH BATT INSULATION (R-38 MIN) - FILL TOTAL CAVITY - NO VOIDS - SHEATHING AND NAILING PER STRUCT - WEATHER RESISTANT BARRIER - SOFFIT PER ELEVATION		R-38	

### ROOF ASSEMBLIES

TYPE	DETAIL	DESCRIPTION	THERMAL	STC RATING
R6		TYPICAL PITCHED ROOF (VENTED) - COMPOSITE ROOF SHINGLES (PER MFR) - ICE AND WATER SHIELD (IF PITCH LESS THAN 3.5:12) - ROOF UNDERLAYMENT (PER MFR) - SHEATHING AND NAILING PER STRUCT - ROOF TRUSSES PER STRUCT - VENTING PER PLANS - BATT INSULATION (R-29 MIN) - MIN 2" AIR GAP - 1/2" GWB - PRIMER AS CLASS III VAPOR BARRIER AND PAINT	R-38	

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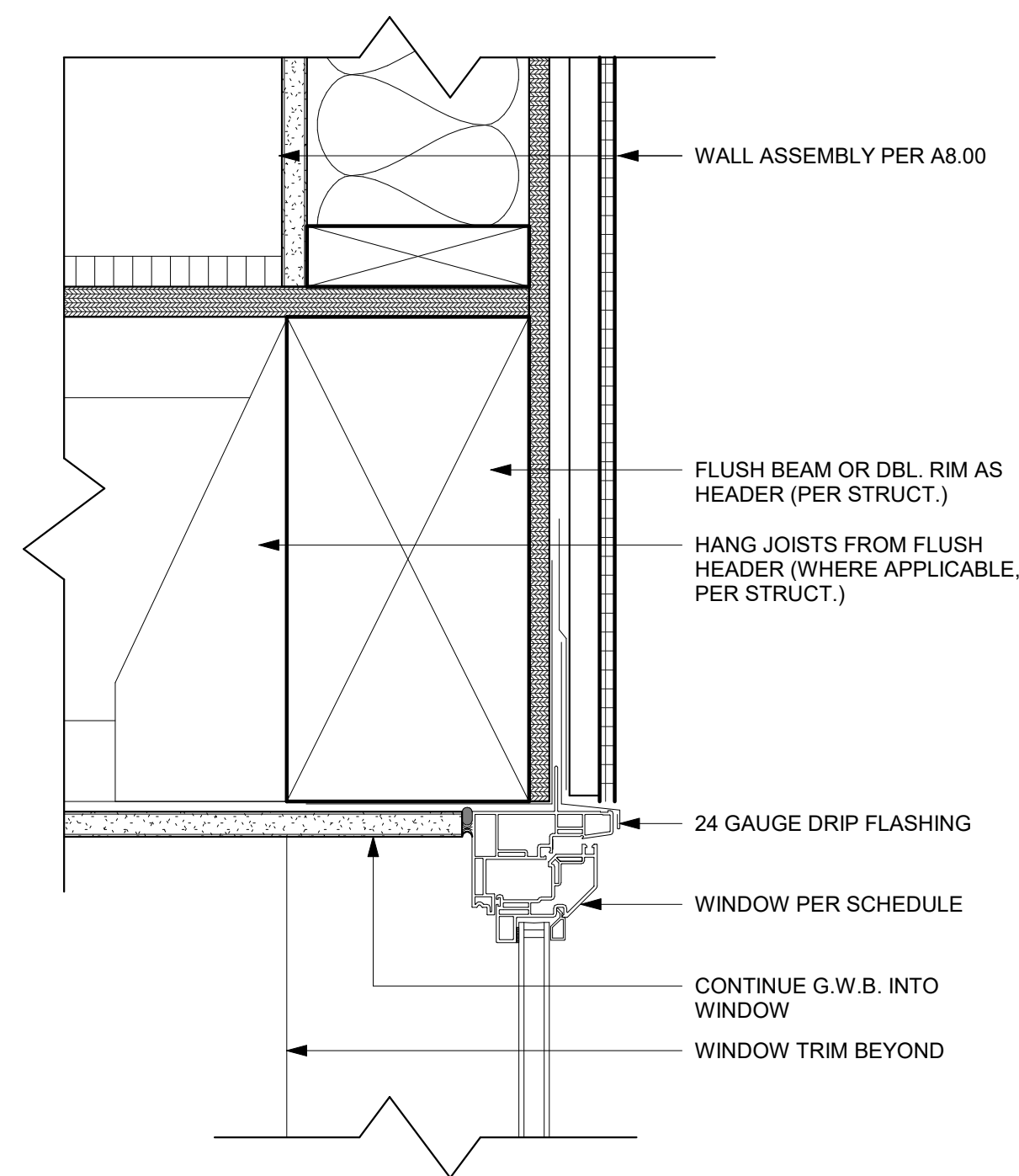
BUILDING ASSEMBLIES

DCI Project Numbers	-
Issue Date	06/09/2024
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Checked by	WL

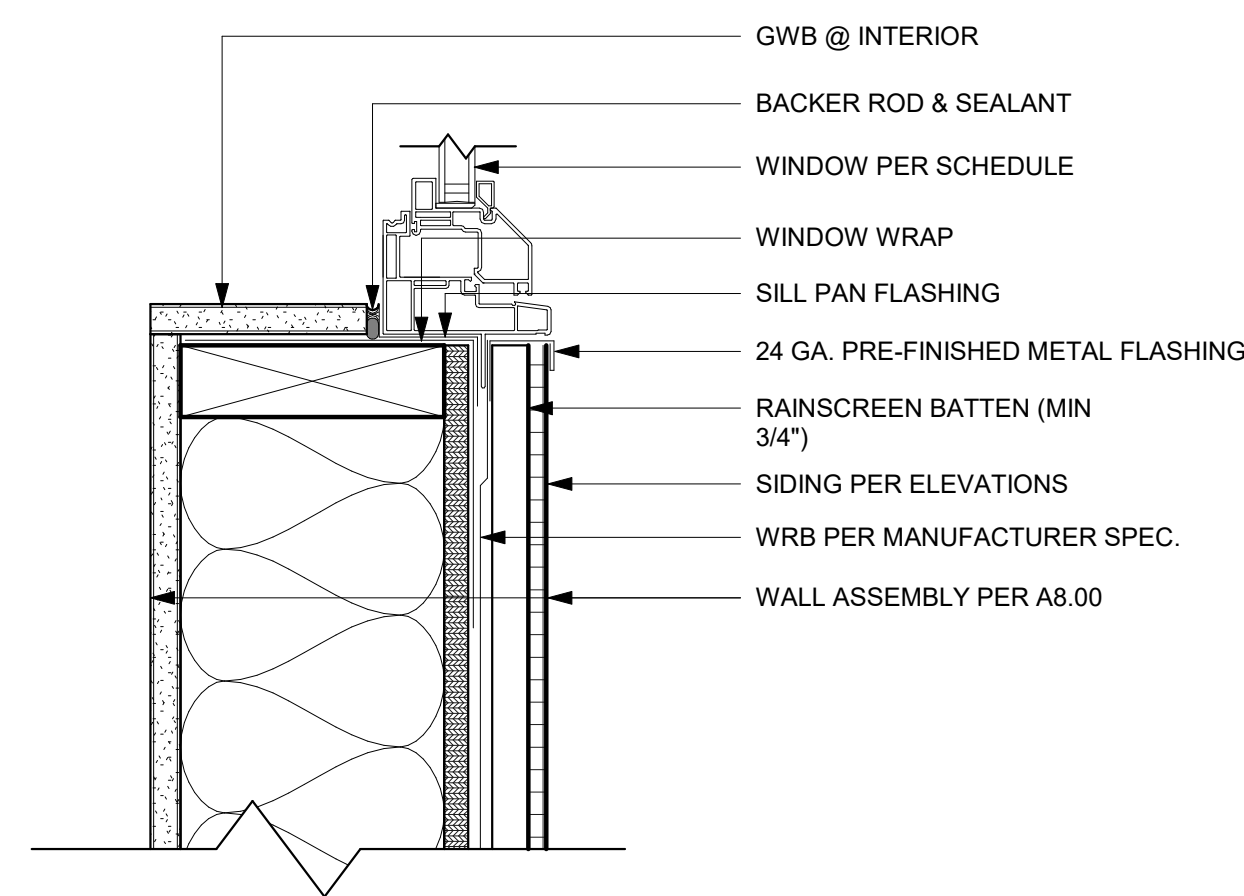
**A8.00**

MARK	DESCRIPTION	DATE
	BUILDING PERMIT INTAKE	08/26/2024

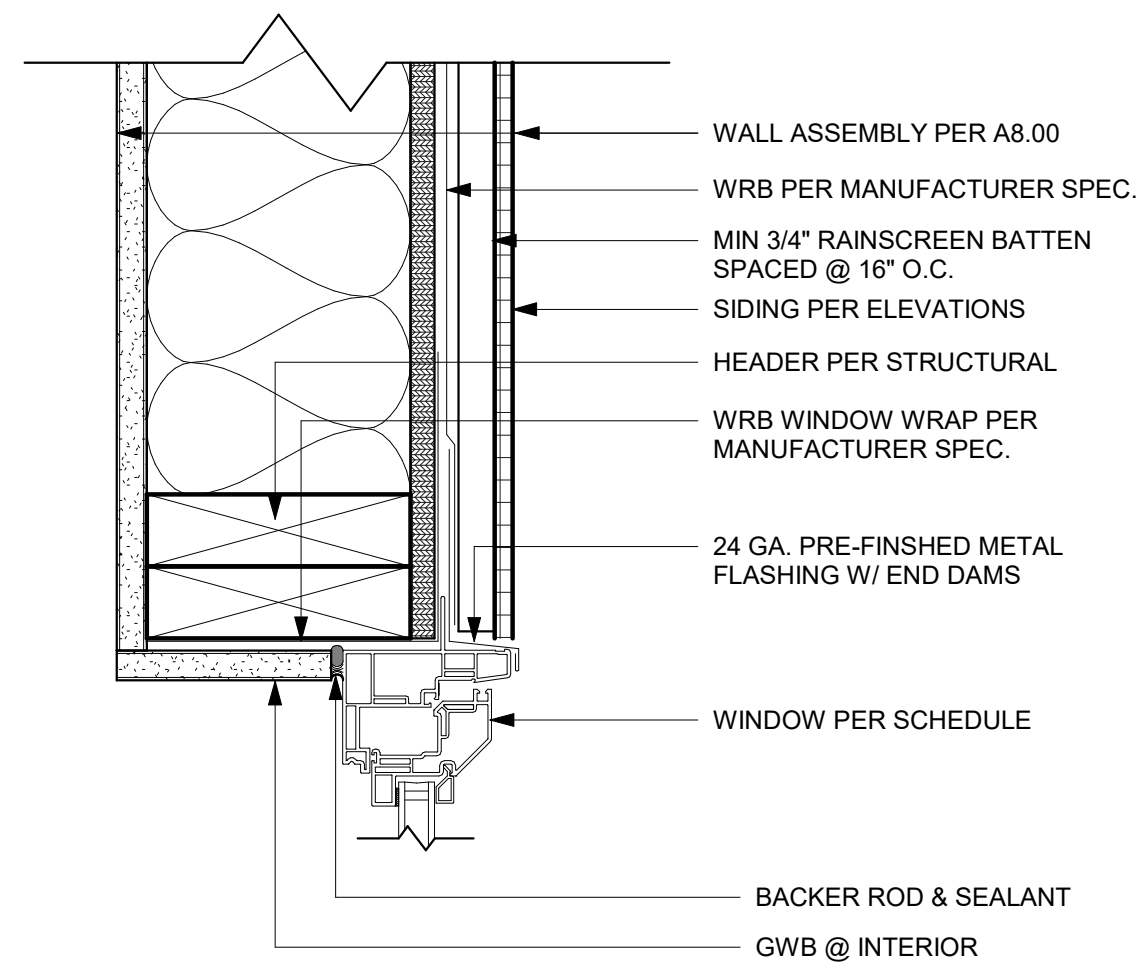
**3 WINDOW HEAD - FLUSH CONDITION**  
SCALE: 3" = 1'-0"



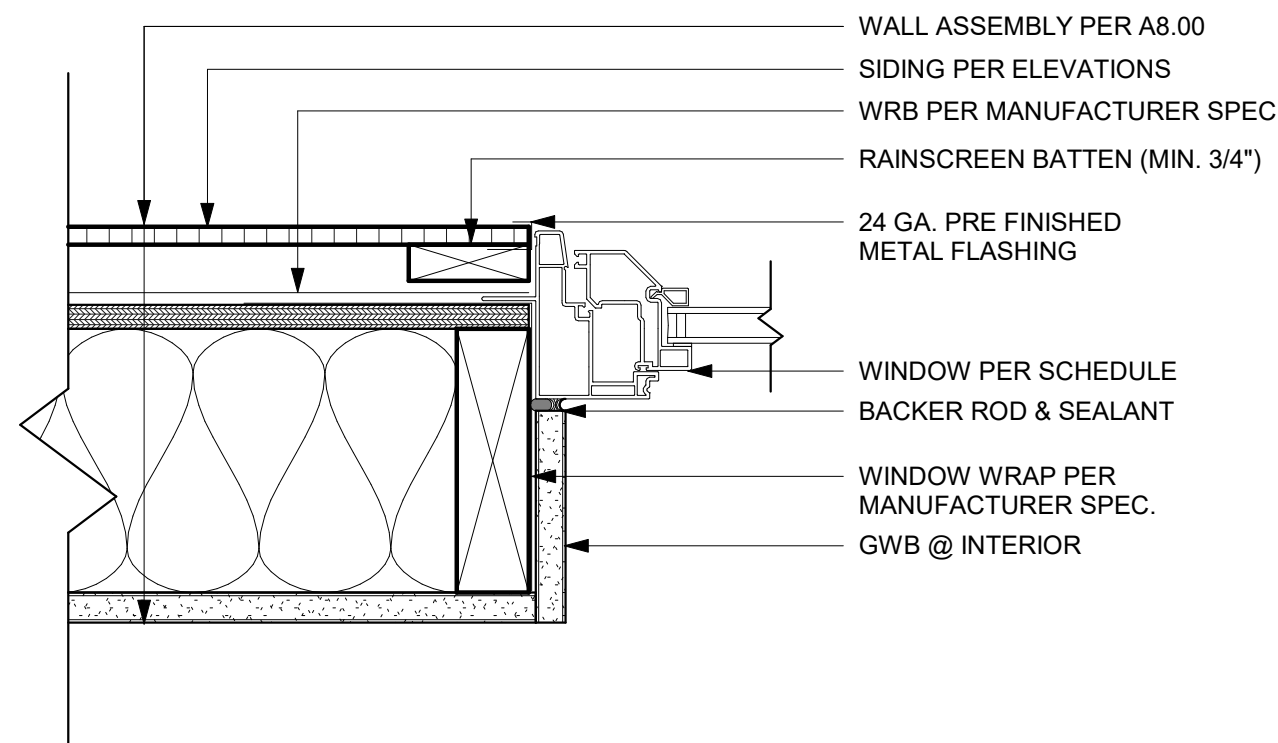
**2 TYPICAL WINDOW SILL**  
SCALE: 3" = 1'-0"



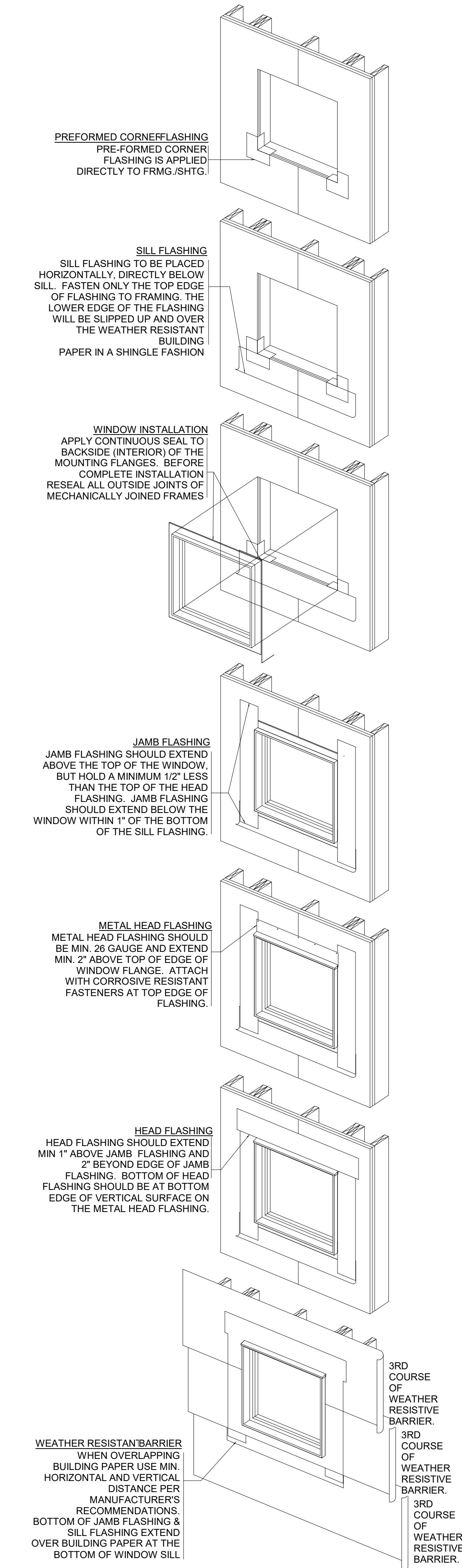
**4 TYPICAL WINDOW HEAD**  
SCALE: 3" = 1'-0"



**5 TYPICAL WINDOW JAMB**  
SCALE: 3" = 1'-0"



**1 TYPICAL WINDOW INSTALLATION**  
SCALE: 1/2" = 1'-0"



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DETAILS - WINDOWS

DCI Project Numbers	-
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**A8.30**

WINDOW SCHEDULE								
WINDOW	COUNT	WIDTH	HEIGHT	AREA	EGRESS	MATERIAL	TEMPERED	OPERATION
A	2	6'-0"	4'-0"	48 SF				
B	2	2'-6"	2'-0"	10 SF				
C	2	4'-0"	4'-0"	32 SF				
D	2	5'-0"	2'-0"	20 SF				
				110 SF				
SK1	2	2'-0"	4'-0"	16 SF	NO	VINYL	YES	SKYLIGHT/FIXED
				16 SF				
Grand total: 10				126 SF				

DOOR SCHEDULE					
DOOR	COUNT	WIDTH	HEIGHT	AREA	U-VALUE
Z	14	2'-6"	6'-8"	233 SF	
				233 SF	
				233 SF	

### WINDOW NOTES

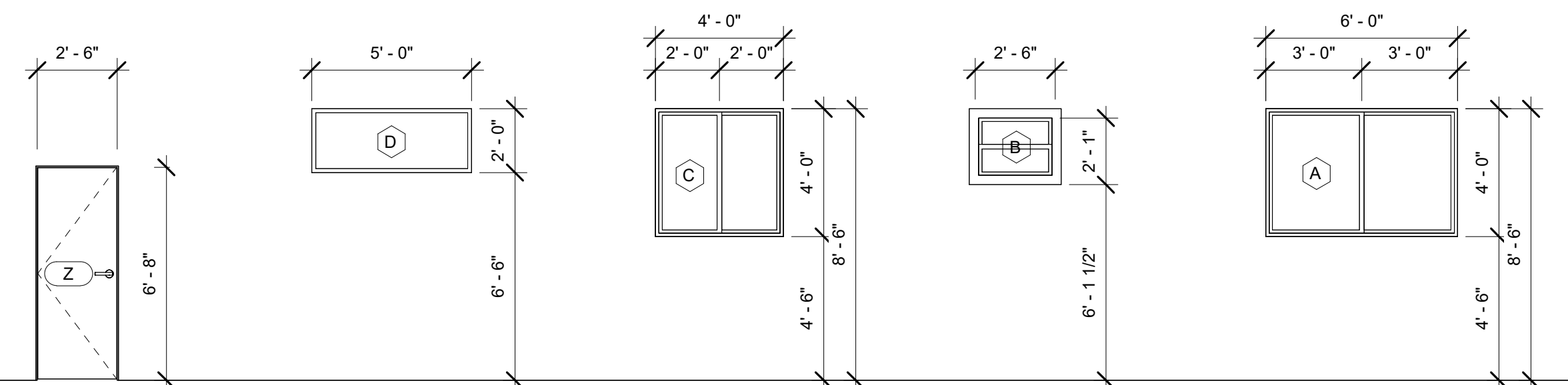
- ALL WINDOW ELEVATIONS DRAWN IN THESE SCHEDULES ARE VIEWED FROM THE EXTERIOR.
- WINDOWS ARE SHOWN WITH ROUGH OPENING DIMENSIONS. CONTRACTOR MUST VERIFY ACTUAL DIMENSIONS ACCORDINGLY.
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING PER SRC R301.1
- OPERABLE WINDOWS SHALL HAVE OPERABLE INSIDE LATCHING DEVICES PER SBC 419.5.1.8 WHERE OPERABLE WINDOWS ARE PROVIDED IN TYPE -A UNITS, AT LEAST ONE WINDOW IN EACH SLEEPING OR LIVING SPACE SHALL MEET OPERATION REQUIREMENTS PER ANSI 117.1-2008 1003.1.3
- SAFETY GLAZING (S.G.) SHALL BE PROVIDED IN HAZARDOUS LOCATIONS, INCLUDING THE FOLLOWING LOCATIONS AS SPECIFIED IN SBC 2406.3 EACH PANE OF SAFETY GLASS SHALL BE IDENTIFIED WITH A PERMANENT LABEL.
  - GLAZING IN ALL DOORS, AND WITHIN 24" OF EITHER VERTICAL EDGE OF A DOOR.
  - GLAZING PANELS LARGER THAN 9 SF WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND A TOP EDGE GREATER THAN 36" ABOVE THE FINISHED FLOOR.
  - GLAZING PANELS WITH SILL LESS THAN 60" ABOVE THE STANDING SURFACE A BATH TUB OR SHOWER.
  - GLAZING IN ALL BATH AND SHOWER DOORS AND ENCLOSURES.
  - GLAZING IN ALL GUARDS AND RAILINGS.
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.
  - GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM THREAD OF A STAIRWAY IN ANY DIRECTION.
- WINDOWS SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED TO WITHSTAND WIND EFFECTS AS DESCRIBED IN SBC 1609.
- ALL RESIDENTIAL VINYL WINDOWS SHALL BE INSTALLED WITH A FLEXIBLE MEMBRANE FLASHING. SEE DETAILS FOR TYPICAL HEAD, SILL AND JAMB INSTALLATIONS
- ALL WINDOWS AND GLAZED DOORS SHALL BE NFRC CERTIFIED AND LABELED.
- ALL WINDOWS ARE FIXED PANE OR HAVE CASEMENT OR AWNING HARDWARE PER SCHEDULE. HARDWARE SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 309.4 AND SHALL BE LOCATED IN THE REACH RANGES DESCRIBED IN ICC/ANSI A117.1 SECTION 308
- NATURAL VENTILATION SHALL BE PROVIDED THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS. THE OPENING MECHANISM SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENINGS ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMAL OPENING AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.
- OUTDOOR AIR/MAKE-UP AIR FOR THE WHOLE HOUSE VENTILATION SHALL BE PROVIDED THROUGH OPERABLE TRICKLE VENTS BUILT-IN THE WINDOW ASSEMBLY. MIN 4 SQ. INCHES OF NET FREE AREA IN EACH OCCUPIABLE SPACE.

### GRILLS, SCREENS & LOUVERS NOTES

- LOUVER & SCREEN DIMENSIONS ARE FREE FOR ROUGH OPENINGS. CONTRACTOR TO FIELD VERIFY DIMENSION PRIOR TO MANUFACTURING.
- CONTRACTOR TO VERIFY LOUVER & SCREEN DIMENSIONS WITH MECHANICAL SUBCONTRACTOR PRIOR TO CONSTRUCTION. IF DIMENSIONAL REQUIREMENTS VARY, CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO PROCEEDING.

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### 1 WINDOW/DOOR DIAGRAMS

SCALE: 1/4" = 1'-0"

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SCHEDULE  
WINDOWS/DOORS

DCI Project Numbers	-
Issue Date	06/09/2024
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**A9.00**